



**\*\*\*DUE TO COVID-19, SEATING CAPACITY IS LIMITED TO NO MORE THAN 10 ATTENDEES\*\*\***

**\*\*\*MEETING BROADCAST LIVE ON TOWN OF GUADALUPE FACEBOOK PAGE\*\*\***

Valerie Molina  
Mayor

Ricardo Vital  
Vice Mayor

Mary Bravo  
Councilmember

Gloria Cota  
Councilmember

Elvira Osuna  
Councilmember

Joe Sánchez  
Councilmember

Anita Cota Soto  
Councilmember

Agendas/Minutes:  
[www.guadalupeaz.org](http://www.guadalupeaz.org)

Town Council Chambers  
9241 S. Avenida del Yaqui  
Guadalupe, AZ 85283  
Phone: (480) 730-3080  
Fax: (480)-505-5368

**NOTICE OF REGULAR MEETING  
OF THE GUADALUPE TOWN COUNCIL**

**THURSDAY, MARCH 10, 2022  
6:00 P.M.**

**GUADALUPE TOWN HALL  
9241 SOUTH AVENIDA DEL YAQUI, MUSEUM ROOM  
GUADALUPE, ARIZONA**

Pursuant to A.R.S. 38-431.02, notice is hereby given to the members of the Guadalupe Town Council and to the public that the Guadalupe Town Council will hold a meeting, open to the public, on Thursday, March 10, 2022, at 6:00 P.M., at Guadalupe Town Hall, 9241 South Avenida del Yaqui, Museum Room, Guadalupe, Arizona.

**AGENDA**

- A. CALL TO ORDER
- B. ROLL CALL
- C. INVOCATION/PLEDGE OF ALLEGIANCE
- D. APPROVAL OF MINUTES
  - 1. Approval of the February 16, 2022, Town Council Special Meeting Minutes.
- E. CALL TO THE PUBLIC: An opportunity is provided to the public to address the Council on items that are not on the agenda or included on the consent agenda. A total of 3 minutes will be provided for the Call to the Audience agenda item unless the Council requests an exception to this limit. Please note that those wishing to comment on agenda items posted for action will be provided the opportunity at the time the item is heard.
- F. MAYOR and COUNCIL PRESENTATIONS:
  - Recognition of Kylan Chait, Valley Youth Theatre Student Director
- G. DISCUSSION AND POSSIBLE ACTION ITEMS:
  - 1. **PUBLIC HEARING – REZONING REQUEST FOR 9016 SOUTH CALLE VAUO NAWI:** Hold a public hearing for a rezoning request of the 6,207 square foot property located at 9016 South Calle Vaou Nawi (APN 301-06-215) from R-1-9 Single Family Residential to R-1-6 to Single Family Residential. The property is presently zoned R-1-9, Single-family Residential and rezoning the property to R-1-6 aligns the 6,207 square foot lot with compatible zoning requirements. The Applicant is Rosalio Mondragon. Council may provide direction to the Town Manager / Clerk. *(related to item G2)*



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Vice Mayor

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- 2. REZONING REQUEST – 9016 SOUTH CALLE VAUO NAWI:** Council will consider and may take action to approve or deny a rezoning request for 9016 South Calle Vaou Nawi (APN 301-06-215) from R-1-9 Single Family Residential to R-1-6 Single Family Residential. If approved, rezoning the property to R-1-6 aligns the 6,207 square foot lot with compatible zoning requirements to build a single-story home. Council may provide direction to the Town Manager / Clerk. *(related to item G1)*
- 3. TOWN CEMETERY HISTORIC DESIGNATION (RESOLUTION NO. R2022.07):** Council will consider and may take action to adopt a resolution approving nomination of the Guadalupe Town Cemetery, located at 4649 South Beck Avenue in Tempe, Arizona to the National Register of Historic Places and the City of Tempe Historic Property Register. Council may provide direction to the Town Manager / Clerk.
- 4. SALE OF TOWN-OWNED PROPERTY TO GUADALUPE COMMUNITY DEVELOPMENT CORPORATION (RESOLUTION NO. R2022.05):** Council will consider and may take action to adopt a resolution authorizing the Mayor, or designee, to sign any and all documents necessary for the sale of Town-owned property, located at 5603 East Calle Iglesia (APN 301-06-141) to the Guadalupe Community Development Corporation (GCDC) for \$65,000. The GCDC will then lot split the parcel into two or three individual properties for the construction of affordable single-family housing. Council may provide direction to the Town Manager / Clerk.
- 5. SALE OF TOWN-OWNED PROPERTY TO GUADALUPE COMMUNITY DEVELOPMENT CORPORATION (RESOLUTION NO. R2022.06):** Council will consider and may take action to adopt a resolution authorizing the Mayor, or designee, to sign any and all documents necessary for the sale of Town-owned property, located at 5604 East Calle Mexico (APN 301-06-142) to the Guadalupe Community Development Corporation (GCDC) for \$65,000. The GCDC will then lot split the parcel into two or three individual properties for the construction of affordable single-family housing. Council may provide direction to the Town Manager / Clerk.
- 6. COVID-19 ACTION UPDATE:** Staff will present an update regarding current Town of Guadalupe COVID-19 positive case rates, scheduled testing, vaccination information, Town services and steps taken to safeguard public health and safety in response to the Coronavirus. Council may provide direction to the Town Manager / Clerk. *Material for this agenda item will be provided at the meeting.*
- 7. CONSIDERATION OF REOPENING THE MERCADO – 9201 SOUTH AVENIDA DEL YAQUI:** Council will consider and may take action to vote on whether to reopen the Mercado patio and multi-purpose room for private/public event rental. Council may provide direction to the Town Manager / Clerk.
- 8. ASSESSMENT LIEN MODIFICATION AGREEMENT (RESOLUTION NO. R2022.09):** Council will consider and may take action to adopt a resolution to approve an Assessment Lien Modification Agreement (Agreement) (C2022-09) and settlement in the amount of \$2,500 from Robert Fabrizio to the Town of Guadalupe (Town) for the property located at 5719 East Calle Magdalena (APN 301-06-078). Payment to the Town is for the Town taking property abatement action to clear said property. Council may provide direction to the Town Manager / Clerk.
- 9. CHIEF FISCAL OFFICER DESIGNATION (RESOLUTION NO. R2022.04):** Council will consider and may take action to adopt a resolution designating Jeff Kulaga, Town Manager/Clerk as the Chief Fiscal Officer. The Chief Fiscal Officer is responsible for officially submitting the Fiscal Year 2023 Expenditure Limitation Report to the Auditor General. Council may provide direction to the Town Manager / Clerk.



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**10. CHIEF FISCAL OFFICER DESIGNATION (RESOLUTION NO. R2022.08):** Council will consider and may take action to adopt a resolution to repeal and replace Resolution No. 2021.01 adopted by Town Council on February 25, 2021, designating the Town Manager / Clerk as the Chief Fiscal Officer and replacing Resolution No. R2021.01 with Resolution No. R2022.08. Resolution No. R2022.08 designates Jeff Kulaga, Town Manager / Clerk, as the Chief Fiscal Officer who is responsible for officially submitting the Fiscal Year 2022 Expenditure Limitation Report to the Auditor General. Council may provide direction to the Town Manager / Clerk.

**11. CLAIMS:** Council will consider and may take action to approve the check register for February 2022, totaling \$541,298.55. Council may provide direction to the Town Manager / Clerk.

H. TOWN MANAGERS' COMMENTS

I. COUNCILMEMBERS' COMMENTS

J. ADJOURNMENT



March 4, 2022

To: The Honorable Mayor and Town Council  
 From: Jeff Kulaga, Town Manager / Clerk  
**RE: March 10, 2022, Town Council Regular Meeting Information Report**

The purpose of this report is to provide brief information regarding each agenda item.

**Agenda Items:**

- D1. FEBRUARY 16, 2022, SPECIAL COUNCIL MEETING MINUTES. (PAGES 7 – 8)**
- F. KYLAN CHAIT, VALLEY YOUTH THEATRE STUDENT DIRECTOR – PROCLAMATION (PAGE 9)**

**G1. PUBLIC HEARING & G2. REZONING REQUEST FOR 9016 SOUTH CALLE VAUO NAWI (PAGES 10 – 23):**  
 This request is to rezone 9016 South Calle Vaou Nawi (Property), APN 301-06-215, currently zoned R-1-9 to R-1-6. The lot size of this property is 6,207 square feet (SF) and the lot is presently vacant. The applicant is seeking the rezoning so that a new single-family home could be built and comply with setback dimensions as required within the R-1-6 zoning.

The proposed 2,189 SF home complies with R-1-6 setback requirements, specifically 7-foot side yard setbacks, 25-foot front yard setback and minimum lot width of 60 feet, as illustrated on the site plan. However, the proposed home does not comply with R1-9 zoning requirements of 10 side yard, 30 front yard, minimum lot width of 80 feet and a minimum lot area of 9,000 SF.

Zoning District	Min. Lot Area	Minimum Yard Setbacks					Street Side	Rear	Max. Bldg. Height
		Min. Lot Width	Min. Lot Depth	Front	Side				
R-1-9	9,000 square feet	80'	100'	30'	10'	20'	10'	30'; accessory building	
R-1-6	6,000 square	60'	90'	25'	7**	15'	10'	15'	

\*for ease of access, 1 side shall be at least 10 feet in width. Churches and schools 35 feet on each side.

Rezoning the property from R-1-9 to R-1-6 aligns the 6,207 SF lot with compatible zoning requirements and more appropriate requirements for the existing lot size.

The Town Attorney and Town Manager/Clerk have reviewed the rezoning application packet for completeness and conformance with the Town Code of Ordinances. The Property has been properly posted and a notification of the rezoning request and public hearing has been mailed to property owners located within 150' of the Property. The Applicant, Rosalio Mondragon, has paid all applicable fees. To date, the Town has not received any public comment. (related to item G2)

**G2. REZONING REQUEST – 9016 SOUTH CALLE VAUO NAWI (PAGES 10 – 23):** Council may approve or deny a rezoning request for 9016 South Calle Vaou Nawi, APN 301-06-215, from R-1-9 Single Family Residential to R-1-6 Single Family Residential. If approved, rezoning the property to R-1-6 aligns the 6,207 square foot lot with compatible and appropriate zoning requirements to build a single-story home. *(related to item G1)*

**G3. TOWN CEMETERY HISTORIC DESIGNATION – RESOLUTION NO. R2022.07 (PAGES 24 – 48):** Council adoption of this resolution would approve a nomination of the Guadalupe Town Cemetery to the National Register of Historic Places and the City of Tempe Historic Property Register. This agenda item is in response to Town Council's direction of October 28, 2021, to present this designation request to Council for consideration.

The Guadalupe Cemetery, located at 4649 South Beck Avenue in Tempe, is a historic site, important in the history of the settlement of the Salt River Valley and a vital Traditional Cultural Property for the people of the Town of Guadalupe. This nomination is being submitted concurrently with a nomination to the National Register of Historic Places. The Guadalupe Cemetery is the original location of the first historic period Yaqui settlement in the Salt River Valley. Title to the five-acre parcel that now comprises the cemetery was obtained by the Catholic Diocese of Tucson on February 1, 1898, from Mr. Silvester Roche, a Tempe homesteader.

Dr. Karl A. Hoerig, Ph.D. Tribal Historic Preservation Officer, Pascua Yaqui Tribe, presented this proposal at the October 28, 2021, meeting to introduce the idea. Dr. Hoerig's nomination letter (attached) provides a comprehensive agreement for historic designation.

**G4. SALE OF TOWN-OWNED PROPERTY TO GUADALUPE COMMUNITY DEVELOPMENT CORPORATION – RESOLUTION NO. R2022.05 (PAGES 49 – 65):** If adopted, this resolution authorizes the sale of Town-owned property, located at 5603 East Calle Iglesia (APN 301-06-141), to the Guadalupe Community Development Corporation (GCDC) for \$65,000. The property is presently vacant and is 14,636 square feet, measuring 167' x 79'. It is located on the immediate southeast corner of Avenida del Yaqui and Calle Iglesia. GCDC's intent is to lot split the parcel into two or three individual properties for the construction of affordable, single-family housing. The GCDC submitted a response on May 28, 2021, to the Town's Request for Proposal issued April 16, 2021, proposing to purchase two properties: 5603 East Calle Iglesia (APN 301-06-141) and 5604 East Calle Mexico (APN 301-06-142) to construct affordable single-family homes. This item and G5 are the culmination of this proposal. *(related to item G5)*

**G5. SALE OF TOWN-OWNED PROPERTY TO GUADALUPE COMMUNITY DEVELOPMENT CORPORATION – RESOLUTION NO. R2022.06 (PAGES 66 – 78):** If adopted, this resolution authorizes the sale of Town-owned property, located at 5604 East Calle Mexico (APN 301-06-142), to the Guadalupe Community Development Corporation (GCDC) for \$65,000. The property is presently vacant and is 16,357 square feet, measuring 167' x 90'. It is located on the immediate northeast corner of Avenida del Yaqui and Calle Mexico. GCDC's intent is to lot split the parcel into two or three individual properties for the construction of affordable, single-family housing. The GCDC submitted a response on May 28, 2021, to the Town's Request for Proposal issued April 16, 2021 proposing to purchase two properties: 5603 East Calle Iglesia (APN 301-06-141) and 5604 East Calle Mexico (APN 301-06-142) to construct affordable single family homes. This item and G4 are the culmination of this proposal. *(related to item G4)*

**G6. COVID-19 ACTION UPDATE (MATERIAL WILL BE PROVIDED AT THE MEETING):** Staff will present an update regarding current Town of Guadalupe COVID-19 positive case rates, scheduled testing, vaccination information, Town services and steps taken to safeguard public health and safety in response to the Coronavirus.

**G7. CONSIDERATION OF REOPENING THE MERCADO – 9201 SOUTH AVENIDA DEL YAQUI (PAGES 79 – 87):** In response to Council direction provided at the February 24, 2022 Regular Council Meeting, Council will consider reopening the Mercado patio and multi-purpose room for private/public event rental. Reservations for public and private events at the Mercado were initially placed on hold at the March 26, 2020, Regular Council Meeting, and continued the postponement of reservations at the May 13, 2020, July 16, 2020, and January 14, 2021, Regular Council meetings. On May 13, 2021, the Council unanimously voted to authorize staff to begin accepting applications for public and private events at the Mercado, beginning on May 17, 2021. At the September 9, 2021, Regular Council Meeting, Council voted to limit the number of attendees to 150 at the Mercado, and grandfather in existing reservations for

events; and, to allow the Town the discretion to cancel events if COVID-19 infection rates rise; and, to suspend future reservations at the Mercado. More recently, on January 13, 2022, Town Council voted to suspend all Mercado and Town Park reservations for private events until further consideration. This decision was due to COVID-19 cases spiking in Town and the State likely due to the spread of the omicron variant.

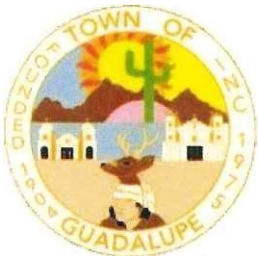
Presently, positive COVID-19 cases have decreased in town, and it appears the omicron variant has subsided. Town staff is recommending that permitting of public and private events resume on May 1, 2022. Council will consider and may take action to vote on whether to reopen the Mercado patio and multi-purpose room for private/public event rental.

**G8. ASSESSMENT LIEN MODIFICATION AGREEMENT – RESOLUTION NO. R2022.09 (PAGES 88 – 93):** If adopted, this resolution would approve an Assessment Lien Modification Agreement (Agreement) (C2022-09) and settlement in the amount of \$2,500 from Robert Fabrizio to the Town of Guadalupe (Town) for the property located at 5719 East Calle Magdalena (APN 301-06-078). Payment to the Town is for the Town taking property abatement action to clear said property.

**G9. CHIEF FISCAL OFFICER DESIGNATION – RESOLUTION NO. R2022.04 (PAGE 94):** Annually, through A.R.S. §41-1279.07(E) each county, city, town, and community college district are required to provide to the Arizona Auditor General by July 31 the name of the Chief Fiscal Officer (CFO) the governing body has designated to officially submit the current year's annual expenditure limitation report (AELR) on the governing body's behalf. The current year is the fiscal year the entity is operating in on July 31. Further, city and town Councils must present and act upon the proper Resolution annually at a formal council meeting and submit a signed Resolution to the Office of Arizona Auditor General. To comply with state statute, Council will consider and may take action to adopt a resolution designating Jeff Kulaga, Town Manager/Clerk as the Chief Fiscal Officer. *(related to item G10)*

**G10. CHIEF FISCAL OFFICER DESIGNATION – RESOLUTION NO. R2022.08 (PAGE 95):** Similar to Item G9, Council may take action to adopt a resolution to repeal and replace Resolution No. 2021.01 adopted by Town Council on February 25, 2021 designating the Town Manager / Clerk as the Chief Fiscal Officer and replacing Resolution No. R2021.01 with Resolution No. R2022.08. Resolution No. R2022.08 designates Jeff Kulaga, Town Manager / Clerk, as the Chief Fiscal Officer. The Arizona Auditor General's Office informed the Town of Guadalupe that not only must a Town employee position be identified in the annual resolution, but it also must include the name of the designated employee. Resolution 2022.08 corrects this omission. *(related to item G9)*

**G11. CLAIMS (PAGES 96 – 111):** The check register for February 2022, totaling \$541,298.55 is recommended for Town Council approval.



# Minutes Town Council Special Meeting February 16, 2022

Valerie Molina  
Mayor

Ricardo Vital  
Vice Mayor

Mary Bravo  
Councilmember

Gloria Cota  
Councilmember

Elvira Osuna  
Councilmember

Joe Sánchez  
Councilmember

Anita Cota Soto  
Councilmember

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Minutes of the Guadalupe Town Council Special Meeting held on Wednesday, February 16, 2022, 4:00 p.m., at Guadalupe Town Hall, 9241 South Avenida del Yaqui, Museum Room, Guadalupe, Arizona.

## A. CALL TO ORDER

Mayor Molin called the meeting to order at 4:12 p.m.

## B. ROLL CALL

Councilmembers Present: Mayor Valerie Molina and Vice Mayor Ricardo Vital (*participating via teleconference*), and Councilmember Mary Bravo, Councilmember Gloria Cota, Councilmember Anita Cota Soto, and Councilmember Joe Sánchez

Councilmember Absent: Councilmember Elvira Osuna

Staff Present: Jeff Kulaga – Town Manager / Clerk, David Ledyard – Town Attorney, and Kay Savard, Deputy Town Clerk

## C. DISCUSSION AND POSSIBLE ACTION ITEMS:

### 1. EXECUTIVE SESSION:

**Motion by Councilmember Soto to convene into Executive Session; second by Councilmember Bravo. Motion passed unanimously on a voice vote 6-0.**

Councilmembers voted to convene into an executive session, closed to the public, as allowed by ARS 38-431.03 (A) (2) (3) (4) (6) and (7) concerning the use, rental, and possible disposition of certain real estate owned or controlled by the Town of Guadalupe and any confidential records related thereto; and, legal advice concerning the following topics:

- a. Calle Bella Vista right of way
- b. Town-owned property development proposal – 9050 South Avenida del Yaqui – Old Town Hall
- c. Town-owned property development proposal – 9050 South Avenida del Yaqui – NE Corner
- d. Pascua Yaqui Tribe-owned land development proposal – 7840 South Avenida del Yaqui
- e. Cuarenta Trust Property
- f. Town-owned property development proposal – 5604 East Calle Mexico & 5603 East Calle Iglesia
- g. Calle Vaou Nawi southern access extension
- h. Notice of Violation – 9215 South Calle Vaou Nawi
- i. Property Lien – 5719 East Calle Magdalena
- j. Sims v. Town of Guadalupe
- k. Matus v. Town of Guadalupe

Dave Ledyard, Town Attorney advised Councilmembers and staff that all deliberations in Executive Session must remain confidential.



D. ADJOURNMENT

**Motion by Vice Mayor Vital to adjourn the Special Council Meeting; second by Councilmember Soto. Motion passed unanimously on a voice vote 6-0.**

The meeting was adjourned at 4:13 p.m.

\_\_\_\_\_  
Valerie Molina, Mayor

Valerie Molina  
Mayor

ATTEST:

Ricardo Vital  
Vice Mayor

\_\_\_\_\_  
Jeff Kulaga, Town Manager / Town Clerk

Mary Bravo  
Councilmember

CERTIFICATION

I hereby certify that the foregoing minutes are a true and correct copy of the minutes of the February 16, 2022, Town of Guadalupe, Town Council Special Meeting. I further certify the meeting was duly called and held, and that a quorum was present.

Gloria Cota  
Councilmember

Elvira Osuna  
Councilmember

\_\_\_\_\_  
Jeff Kulaga, Town Manager / Town Clerk

Joe Sánchez  
Councilmember

Anita Cota Soto  
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# Proclamation



## KYLAN CHAIT DAY IN GUADALUPE

\*\*\*\*\*

WHEREAS, Guadalupe recognizes the important role that the arts have played in the lives of young people during the pandemic; and,

WHEREAS, Guadalupe teen, Kylan Chait, serves as the Valley Youth Theatre Student Director and is part of the cast for *Dear 2020!*; and,

WHEREAS, the Valley Youth Theatre proudly reopened its doors on Friday, February 25, 2022, to showcase *Dear 2020!*, which was created by Valley students; and

WHEREAS, the Valley Youth Theatres' mission is to inspire young people to be the best they can be through a variety of performing arts opportunities; and

WHEREAS, Kylan Chait is proud to say that "Valley Youth Theatre sets the standard for how kids should be treated"; and,

WHEREAS, Kylan Chait serves as a role model for Guadalupe youth.

NOW, THEREFORE, I, Mayor Valerie Molina, of the Town of Guadalupe, Arizona, declare Friday, March 11, 2022, as

## KYLAN CHAIT DAY IN GUADALUPE

Signed this 10<sup>th</sup> day of March, 2022

\_\_\_\_\_  
Valerie Molina, Mayor  
Town of Guadalupe, Arizona





# 9016 S. Calle Vaou Nawi – Rezoning Request

9016 S. Calle Vaou Nawi



**Current Zoning: R1-9**

**Requested Zoning: R1-6**



# 9016 S. Calle Vaou Nawi – Rezoning Request Proposed home:

**1 FRONT ELEVATION (SOUTH)**  
Scale: 3/16"=1'-0"

**2 RIGHT ELEVATION (EAST)**  
Scale: 3/16"=1'-0"

**3 REAR ELEVATION (NORTH)**  
Scale: 3/16"=1'-0"

**4 LEFT ELEVATION (WEST)**  
Scale: 3/16"=1'-0"

**GENERAL ELEVATION NOTES**

- ONE-COAT STUCCO SYSTEM (SSR-223) OVER 1" GA. SELF-FLUORED MESH FABRIC OVER 1" SUBSTRATE (AS LISTED BELOW) OVER 1-GRADE OR BUILDING PERMISSIBLE SUBSTRATE.
  - FROM TOP OF SLAB TO ROOF PLATE LINE 1" EXPANDED POLYSTYRENE
  - ABOVE TOP PLATE 1" INSULATION BOARD (EXCEPT AT OPTIONAL CATHEDRAL INSULATION) 1" EXPANDED POLYSTYRENE SHALL BE USED AT ALL CONDITIONED AREAS BELOW AND ABOVE TOP PLATE.
- MAS ONE-COAT STUCCO COMPLIANCE PROGRAM. ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MANUFACTURER APPROVED INSTALLERS. AN APPROVED WEATHER-RESISTIVE BARRIER SHALL BE INSTALLED OVER ALL FRAMING AND WOOD BASED SHEATHING.
- PROVIDE 2 LAYER 30# FELT FLASHING AT ALL HEADS, JAMBS, AND SILLS OF WINDOWS AND DOOR OPENINGS. SEE TYP. DETAIL.
- PROVIDE CONTINUOUS SEALANT BEAD WHERE STUCCO MEETS WINDOWS AND DOORS FRAME SO AS TO PROVIDE A WEATHER RESISTIVE BARRIER REFER TO DETAIL.
- PROVIDE CONT. 26 GA. G.L. WEEP SCREED, WITH 3-1/2" VERTICAL NAILING FLANGE AT 4" ABOVE FINISH GRADE (SEE DET. 100)
- ALL NON-VERTICAL STUCCO SURFACES (STUCCO SHAPES) TO BE SLOPED MIN 2" PER 12" AND WATER-PROOFED WITH ONE LAYER OF BITHENANE WATERPROOF MEMBRANE.

**LEGEND:**

SHINGLE ROOF SYSTEM SSR-543 GRAY	GEORGETOWN SYSTEM SSR-521	SHIP LAP SIDING SYSTEM	GRAY HARDIE PLANK
STUCCO SYSTEM SSR-223	SAND FINISHED STUCCO	EXTERIOR PAINT FINISHES	EXTERIOR PAINT FINISHES FOR POP-OUT

**NOTE:**

- TRIM AND DOOR FINISHES TO BE COORDINATED WITH A VARIETY OF COLORS FROM THE FINISHES AND MATERIALS OF THE BUILDING.
- STUCCO AND TRIM FOR DOORS, DOOR TRIM TO BE FULL WOOD AND OTHER DOORS TO BE FULL WOOD.
- DOOR, WINDOW, TRIM, AND TRIM TO BE FULL WOOD AND FULL WOOD TRIM TO BE FULL WOOD.
- OWNER WILL BE FREE TO CHOOSE MATERIALS FROM THE STUCCO SYSTEM BY THE COLOR WE SELECT.

**ELEVATIONS PLAN**  
SCALE: 3/16"=1'-0"

**9016 S CALLE VAUO NAWI**  
GUADALUPE, AZ 85283

Drawn by: [Name]  
Checked by: [Name]  
Date: [Date]

Sheet: A2

Town Council Meeting  
March 10, 2022



# 9016 S. Calle Vaou Nawi – Rezoning Request

## Current conditions:

- **Zoning: R1-9**

## Rezone to R1-6:

- **Reduce side yard setback from 10’ to 7’ on north and south property lines.**
- **Reduce front yard setback from 30’ to 25’.**
- **Reduce minimum property width from 90’ to 60’**

<i>Zoning District</i>	<i>Minimum Yard Setbacks</i>				<i>Max-Height</i>
	<i>Front</i>	<i>Side</i>	<i>Street Side</i>	<i>Rear</i>	
R-1-9	30’	10’	20’	10’	30’
R-1-6	25’	7’	15’	10’	30’

The minimum provisions listed above shall not apply to any lot of smaller size already of record in the office of the County Recorder of Maricopa County, Arizona, before the effective date of this chapter.



# 9016 S. Calle Vaou Nawí – Rezoning Request

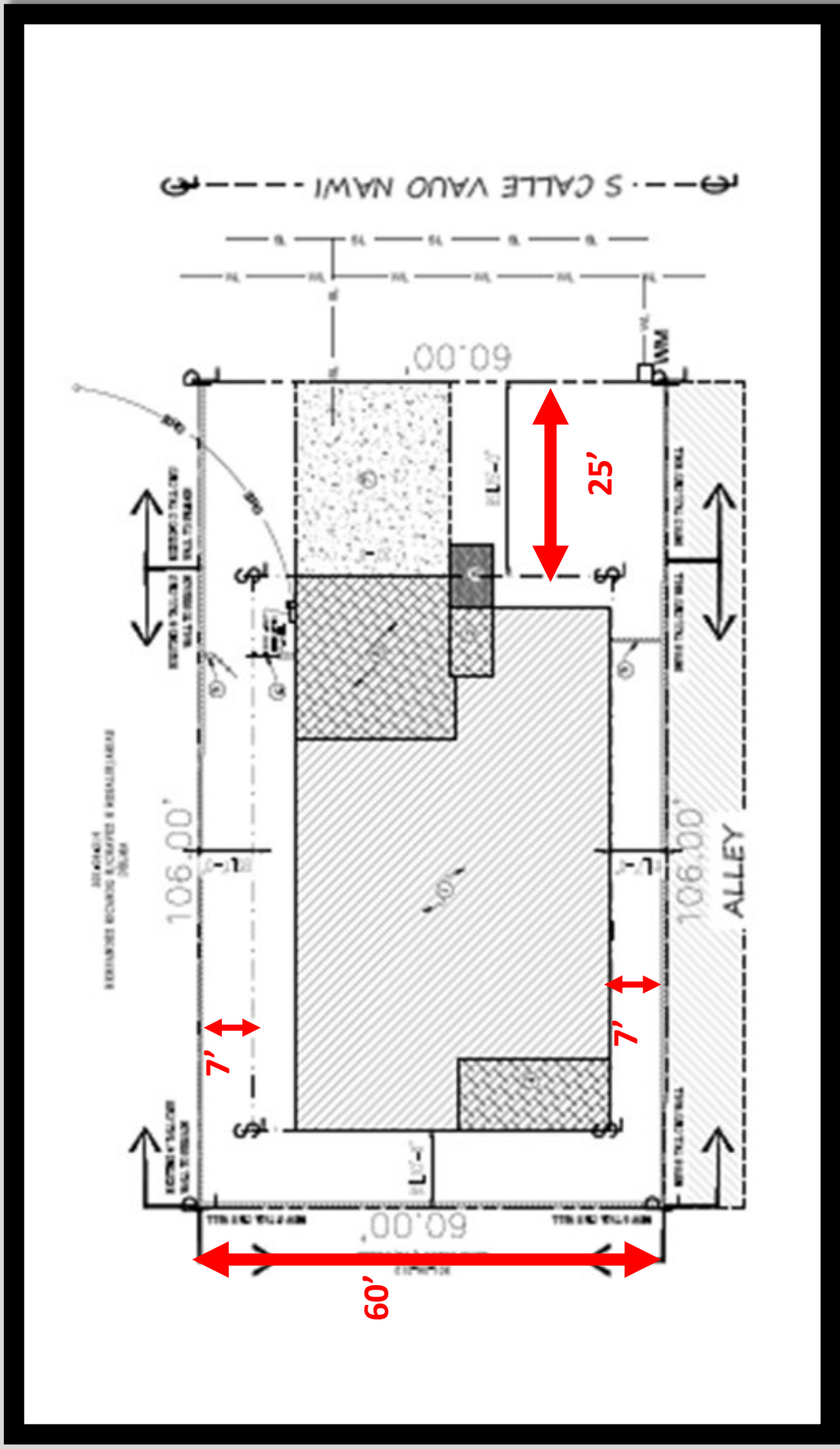
## Setback requirements:

### Current conditions:

- Zoning: R1-9

### Rezoned to R1-6:

- 7' on north and south property lines.
- Reduce front yard setback 25'.
- Reduce minimum property width to 60'



# 9016 S. Calle Vaou Nawi – Rezoning Request



**Notification:**

Town Council Meeting  
March 10, 2022





# 9016 S. Calle Vaou Nawi – Rezoning Request

Adjacent  
Zoning:

R-2 

R1-9 

Town Council Meeting  
March 10, 2022





# 9016 S. Calle Vaou Nawi – Rezoning Request

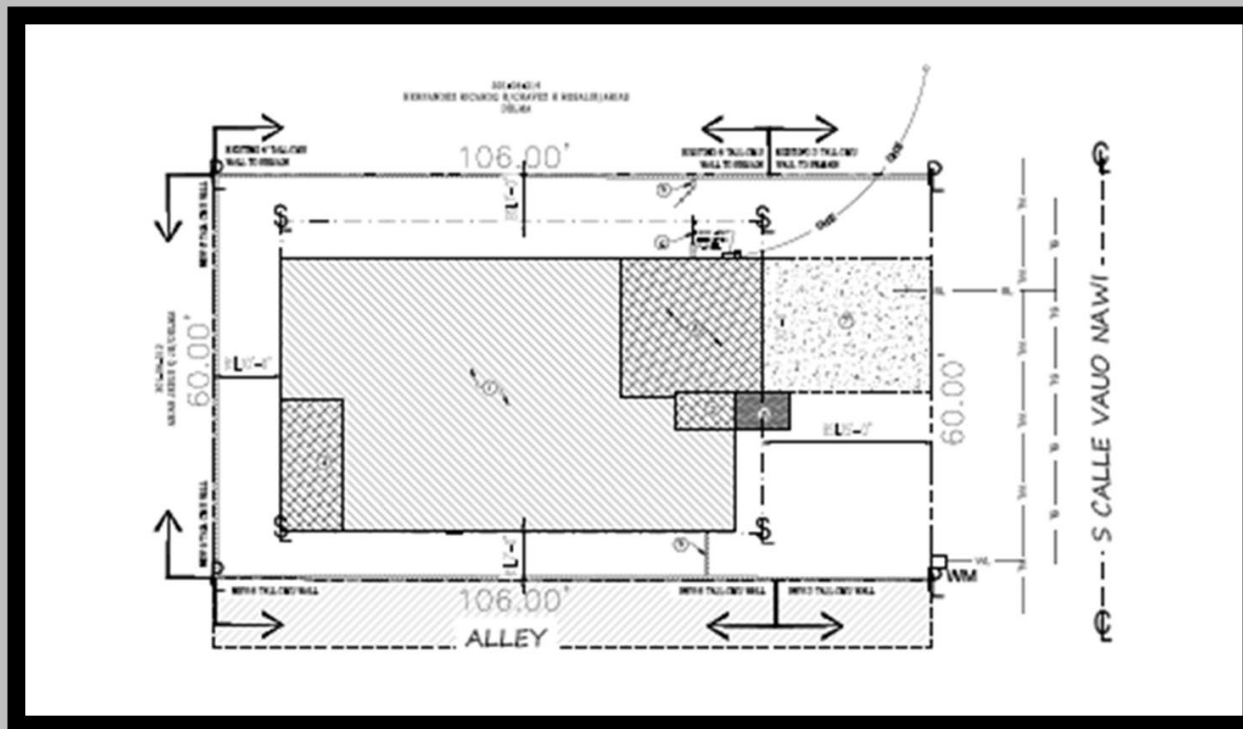
**Approximate  
location of home  
on property:**







# 9016 S. Calle Vaou Nawi – Rezoning Request



## RECOMMENDATION: Grant rezoning

- R1-6 compatible zoning with 6207 square foot lot.
- Rezoning will not detrimentally impact adjacent properties.

Town Council  
Meeting  
March 10, 2022

CASE NO. RZ2022-02

TOWN OF GUADALUPE  
9241 SOUTH AVENIDA DEL YAQUI  
GUADALUPE, ARIZONA 85283  
480-730-3080

APPLICATION FOR:

- Variance
- Conditional Use
- Zoning Change

Zoning District: \_\_\_\_\_

Fee: \_\_\_\_\_

Receipt #: \_\_\_\_\_

THE REASON FOR THE REQUEST IS: The size of the lot (6207 sq ft) does not correspond to the R1-9 zoning

THE SUBJECT PROPERTY IS LEGALLY DESCRIBED AS: single family property new build, single story home

9016 ~~016~~ S. Calle Yaou Nawi Parcel 301-06-215

AND ITS GENERAL LOCATION IS: N S E W SIDE OF CALLE Yaou Nawi  
\_\_\_\_\_ FEET N S E W OF CALLE \_\_\_\_\_ AND \_\_\_\_\_ FEET  
BY \_\_\_\_\_ FEET TOTALING \_\_\_\_\_ SQ. FEET.

IF REQUESTING REZONING, INDICATE CHANGE: FROM R1-9 TO R1-6

APPLICANT: Rosalio Mondragon PHONE NO: \_\_\_\_\_

ADDRESS: 1750 W Pearce Rd. Phoenix, AZ 85041

PROPERTY OWNER: Francisco C. de Vaca PHONE NO \_\_\_\_\_

ADDRESS: \_\_\_\_\_

[Signature] 2/2/2020  
APPLICANT'S SIGNATURE Date

Francisco C de Vaca 02-02-2020  
\*OWNER'S SIGNATURE Date

\*The property owner must sign above or submit a letter by owner authorizing the applicant to make the request.

Office Use Only:

PROCEDESSED BY: \_\_\_\_\_ DATE PROCESSED: \_\_\_\_\_

DATE OF COUNCIL MEETING: \_\_\_\_\_  APPROVED  DISSAPPROVED

COMMENTS: \_\_\_\_\_

HERNANDEZ RICARDO R/CHAVEZ H  
ROSALIE/ARIAS DELMA  
9014 S CALLE AZTECA  
GUADALUPE, AZ 85283

OCCUPANT  
9012 S CALLE AZTECA  
GUADALUPE, AZ 85283

VALENZUELA MARIA JESUS ETAL  
9002 S 59TH  
GUADALUPE, AZ 85283

OCCUPANT  
9002 S CALLE VAUO NAWI  
GUADALUPE, AZ 85283

OCCUPANT  
5833 E CALLE MEXICO  
GUADALUPE, AZ 85283

ARIAS JESUS Q JR/DELMA  
6718 S HARDY DR  
TEMPE, AZ 85283

CASILLAS JESUS & RITA  
5834 E CALLE BIEHN  
GUADALUPE, AZ 85283

COTA JULIE/KIANA M  
9020 S CALLE VAUO NAWI  
GUADALUPE, AZ 85283

SOZA FRANCISCA  
9026 S CALLE VAUO NAWI  
GUADALUPE, AZ 85283

ROBLES CORNELIO OR DIANNA  
9015 CALLE VAUO NAWI  
GUADALUPE, AZ 85283

MOLINA ALICIA  
9005 S CALLE VAUO NAWI  
GUADALUPE, AZ 85283

RUDY V AND ANTONIA V CAMPOY LIVING  
TRUST  
5531 E CALLE MAGDALENA  
GUADALUPE, AZ 85283

OCCUPANT  
5907 E CALLE MEXICO  
GUADALUPE, AZ 85283

SUNIGA ERNEST D/BERTHA M/GONZALES  
JOSE  
918 W VAUGHN ST  
TEMPE, AZ 85283

OCCUPANT  
5825 E CALLE MEXICO  
GUADALUPE, AZ 85283

OCCUPANT  
5809 E CALLE MEXICO  
GUADALUPE, AZ 85283

ARIAS JESUS Q JR/DELMA  
6718 S HARDY DR  
TEMPE, AZ 85283

OCCUPANT  
5838 E CALLE BIEHN  
GUADALUPE, AZ 85283

MARTINEZ RUBEN M/SYLVIA  
ARMENTA/ROCHA BRIDGETTE  
9028 S CALLE VAUO NAWI  
GUADALUPE, AZ 85283

GARCIA JOSEFINA A & RITA DEBBIE URIARTE  
9027 S CALLE VAUO NAWI  
GUADALUPE, AZ 85283

MEZA DOMINGO/DOLORES A  
5832 E CALLE BIEHN  
GUADALUPE, AZ 85283

## Exhibit A

That Part of Block 15, EAST GUADALUPE, according to Book 162 of Maps, page 35, records of Maricopa County Arizona, described as follows:

From the Northernmost terminus of the curve at the Northwest corner of said Block 15;

Thence North 89 degrees 59 minutes 51 seconds East along the North line of said Block 15, a distance of 333.00 feet;

Thence South 00 degrees 00 minutes 09 seconds East, 141.53 feet to the POINT OF BEGINNING;

Thence South 89 degrees 44 minutes 54 seconds East 106.00 to a point on the East line of said Block 15;

Thence South 00 degrees 00 minutes 09 seconds East along the East line of said Block 15 a distance of 60.00 feet;

Thence North 89 degrees 44 minutes 54 seconds West, 106.00 feet;

Thence North 00 degrees 00 minutes 09 seconds West, 60.00 feet to the POINT OF BEGINNING;

Also known as Lot 10, Block 15, EAST GUADALUPE, according to Book 211 of Maps, page 18, records of Maricopa County, Arizona.



**TOWN OF GUADALUPE  
NOTICE OF PUBLIC HEARING  
REZONING APPLICATION**

The Guadalupe Town Council shall hold a public hearing on Thursday, March 10, 2022, at 6:00 p.m. at Guadalupe Town Hall, 9241 South Avenida del Yaqui, Museum Room, Guadalupe, Arizona, to consider the following rezoning request:

Rosalio Mondragon, Applicant, is requesting a change of zoning from R-1-9 Single Family Residential to R-1-6 Single Family Residential. The property address is 9016 South Calle Vaou Nawi, Guadalupe, AZ 85283. Maricopa County Assessor APN 301-06-215. Francisco C. De Vaca, Property Owner. **RZ2022-02**

Town of Guadalupe, Town Code of Ordinances excerpt, § 154.065 SINGLE-FAMILY RESIDENTIAL DISTRICTS: R-1-9 AND R-1-6.

Zoning District	Minimum lot area	Minimum lot width	Minimum lot depth	Minimum Yard Setbacks				Max. Bldg. Height
				Front	Side	Street side	Rear	
R-1-9	9,000 square feet	80'	100'	30'	10'	20'	10'	30'; accessory building
R-1-6	6,000 square feet	60'	90'	25'	7'*	15'	10'	15'

\*For ease of access, 1 side shall be at least 10 feet in width. Churches and schools 35 feet on each side.

Written comments or objections may be filed at the Guadalupe Town Hall prior to, or at the hearing. Copies of the application and zoning requirements are available at Guadalupe Town Hall, 9241 South Avenida del Yaqui, Guadalupe, AZ 85283.

Publish: February 18, 2022



ARQM LLC owns designs, concepts, information and details contained in these drawings, they could refer to other information, only information cannot be used by other without a written approval signed by ARQM Architect.

Table with 3 columns: Name, Title, and Signature lines.

3/1

9016 S CALLE VAUO NAWI  
GUADALUPE, AZ 85283

CONTACT: (623) 853 3751  
DRAWN BY: Esly Villar  
CHECKED BY: ARQM LLC  
DATE:  
SCALE: PER PLAN  
SHEET: A0

PROJECT DESCRIPTION

NEW 2189 SQ. FT. LIVABLE CUSTOM RESIDENCE WITH A 2 CAR GARAGE, FRONT PORCH AND PATIO

OWNER

FRANCISCO C. DE VACA

PROJECT INFORMATION

PROJECT ADDRESS: 9016 S CALLE VAUO NAWI GUADALUPE 85283  
ZONING: R1-6  
JURISDICTION: GUADALUPE  
SECTION T.R.: 4 1S 4E  
LOT.: 10  
PARCEL #: 301-06-215  
CONSTRUCTION YEAR:

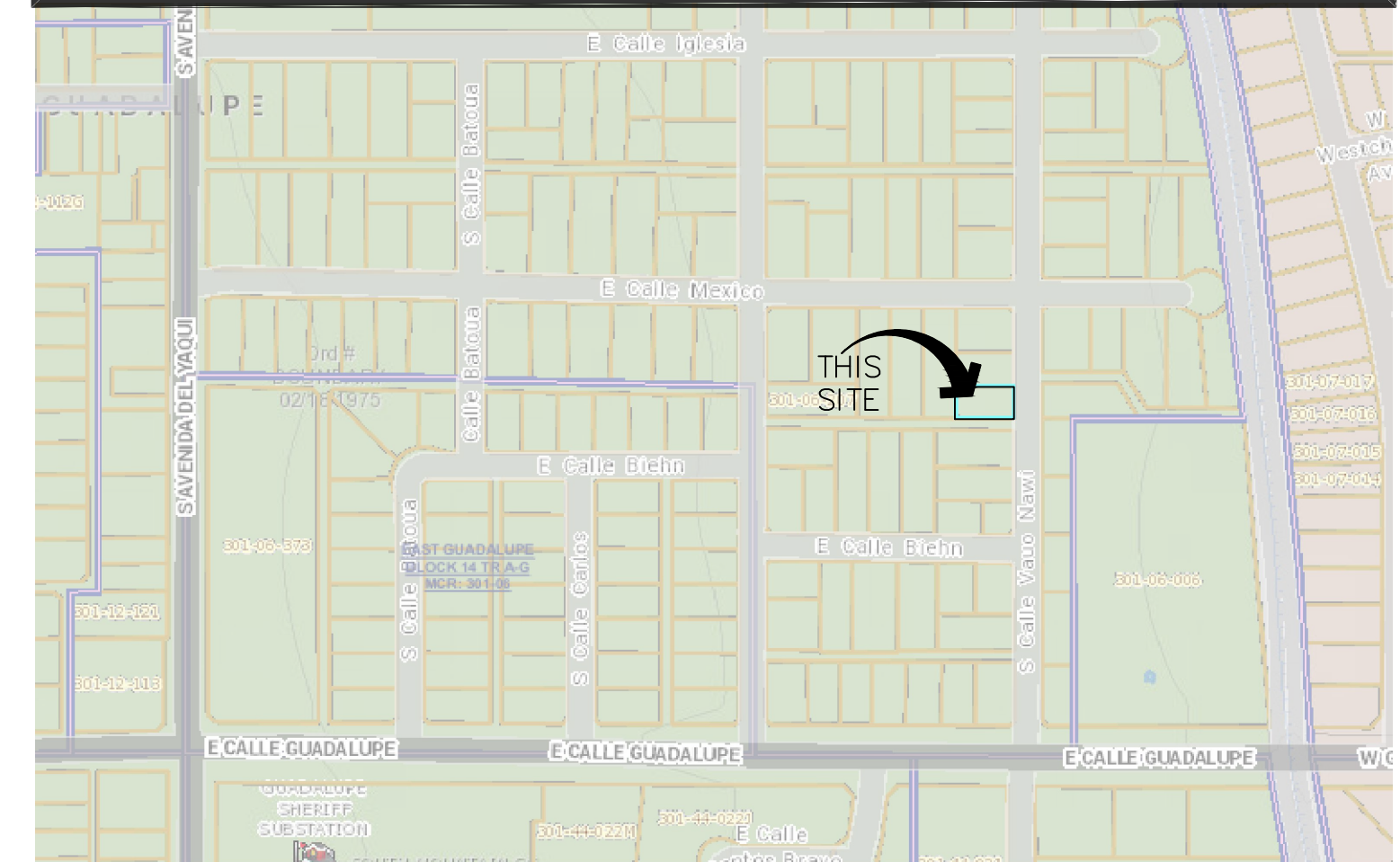
AREAS

Table with 3 columns: Area Type, Area, and Unit. Includes rows for Main Residence, Front Porch, Two Car Garage, and Rear Patio.

TOTAL AREAS

Summary table for areas: Livable (2,189), Non Livable (670), Total (2,859), Lot Size (7,239), Lot Coverage (39.49%), Max Lot Coverage (40%).

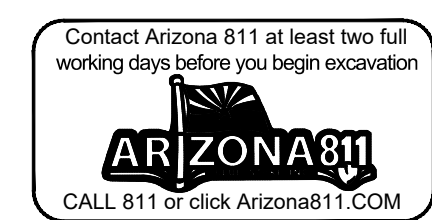
VICINITY MAP



NOTE: PROPERTY LINE DIMENSIONS ON SITE PLAN ARE OBTAINED FROM COUNTY ASSESSOR'S WEBSITE AND ARE TO BE USED AS A POINT OF REFERENCE ONLY. FOR EXACT DIMENSIONS, PLEASE CONTACT A REGISTERED SURVEYOR. ARQM Architect SHOULD NOT BE HELD LIABLE IF THE DIMENSIONS FOUND ON COUNTY ASSESSOR'S WEBSITE ARE INACCURATE, IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO GET A SURVEY OF THE PROPERTY.

PAD NOTE:

CONTRACTOR MUST VERIFY THAT THE FINISHED FLOOR OF THE NEW BUILDING MUST BE AT LEAST 14" UP FROM THE LOW PART OF THE EXISTING TOP OF CURB.



SPAD#  
KIVA#  
CRPR#  
Q.S.#  
H#

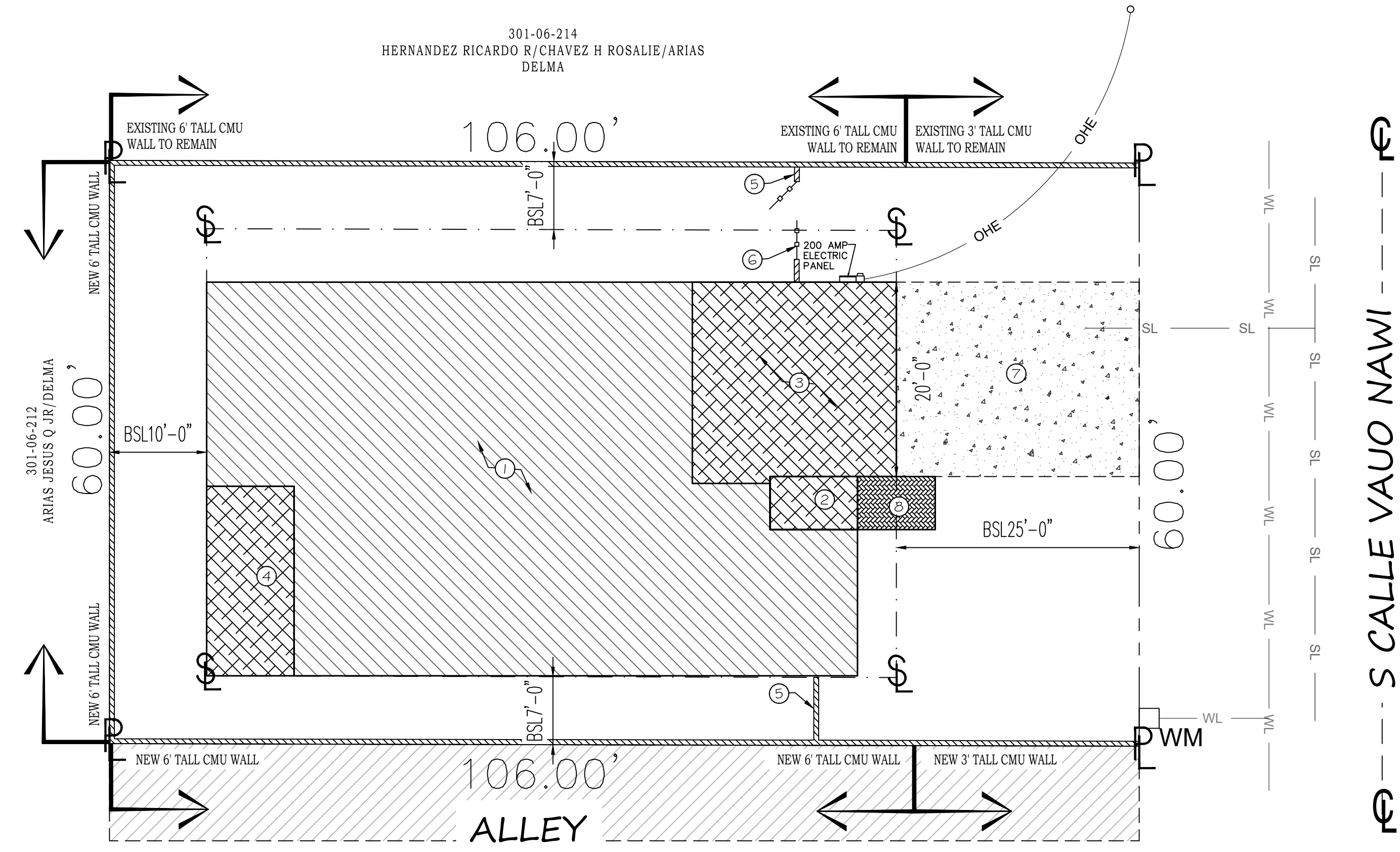
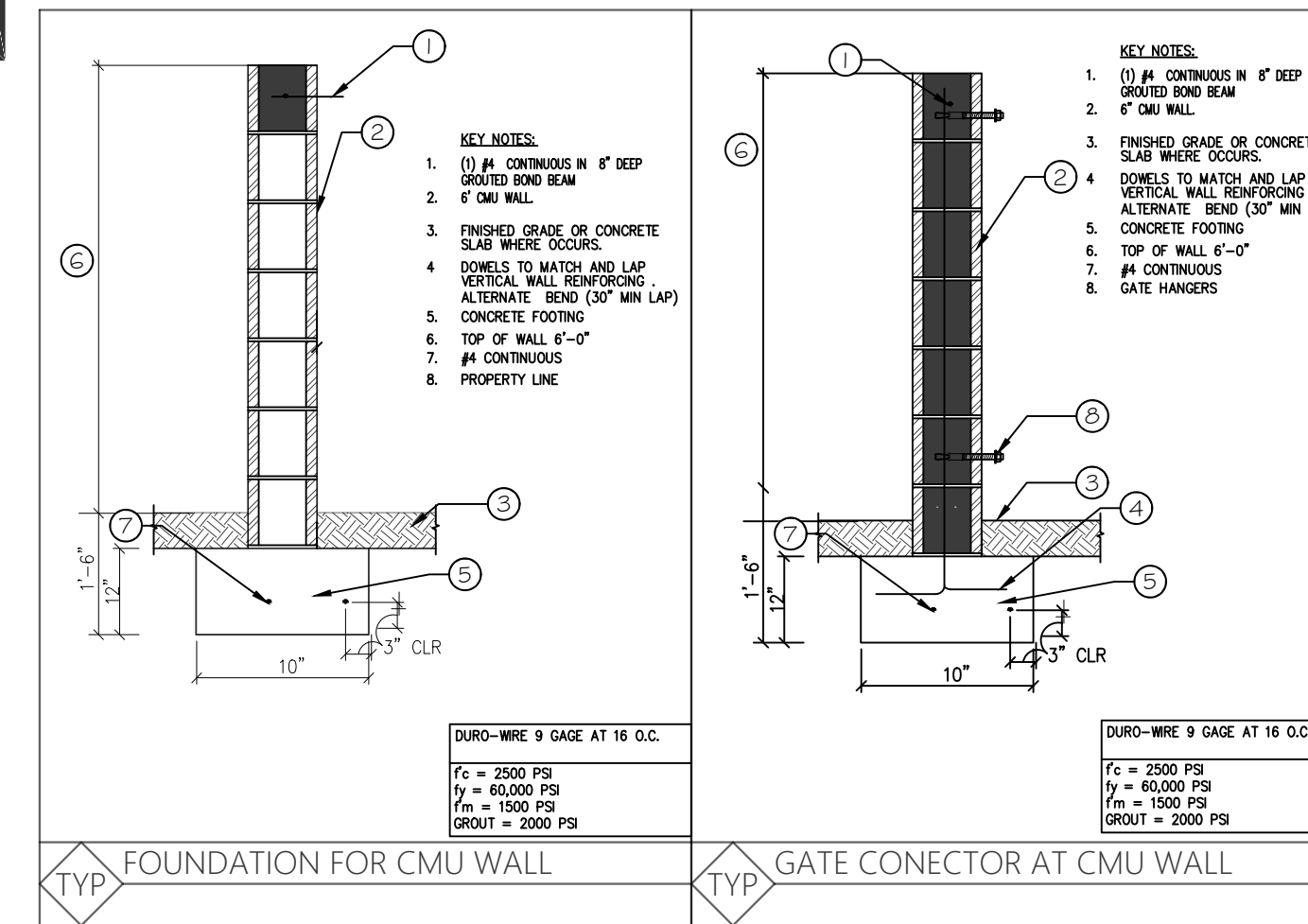
LEGEND

Legend table listing symbols for concrete driveway, property line, set back line, overhang, water line, sewer line, gas line, fiber cable, overhang electric, underground electric, existing sidewalk, right of way, public utility easement, building setback line, finish floor elevation, water meter, and new concrete slab/pavers.

(NOT ALL USED)

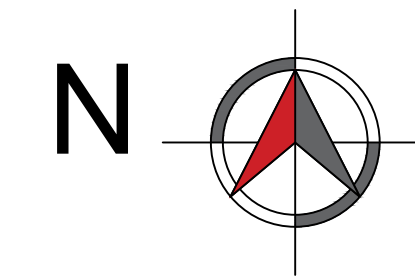
KEY NOTES

- 1 MAIN RESIDENCE (LIVABLE)
2 FRONT PORCH (NOT LIVABLE)
3 TWO CAR GARAGE (NOT LIVABLE)
4 REAR PATIO (NOT LIVABLE)
5 NEW 6' CMU WALL
6 8' WIDE METAL/WOOD GATE
7 CONCRETE DRIVEWAY
8 PAVERS SIDEWALK



SITE PLAN

SCALE: 1-10 = 1'-0"




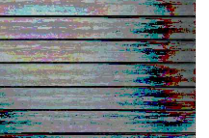






ARQM LLC owns designs, concepts, information data and details contained in these drawings. They could refer to brands only as complementary information. cannot be used by others without a written approval signed by ARQM Architect.

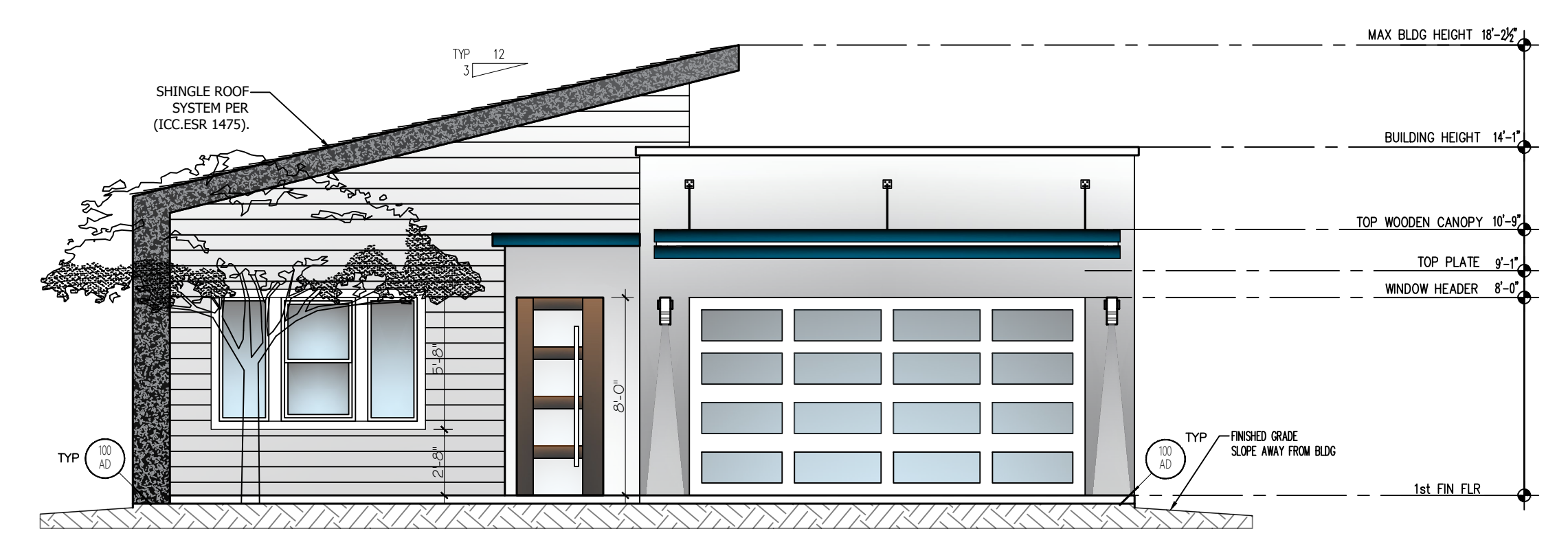
**GENERAL ELEVATION NOTES**

- A. ONE(1) COAT STUCCO SYSTEM (ESR-2323) OVER 1" GA SELF-FURRED WOVEN WIRE FABRIC OVER 1" SUBSTRATE (AS LISTED BELOW) OVER 1-GRADE "D" BUILDING PAPER(U.N.O) SUBSTRATE:
  - 1) FROM TOP OF SLAB TO ROOF PLATE LINE 1" EXPANDED POLYSTYRENE
  - 2) ABOVE TOP PLATE:1" INSULATIONS FOAM BOARD,EXCEPTIONS:AT OPTIONAL CATHEDRAL INSULATION,1" EXPANDED POLYSTYRENE SHALL BE USED AT ALL CONDITIONED AREAS BELOW AND ABOVE TOP PLATE.
- B. MAG ONE-COAT STUCCO COMPLIANCE PROGRAM, ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MANUFACTURERS APPROVED INSTALLERS. AN APPROVED WEATHER-RESISTIVE BARRIER SHALL BE INSTALLED OVER ALL FRAMING AND WOOD BASED SHEATHING.
- I. PROVIDE (2) LAYER 30# FELT FLASHING AT ALL HEADS, JAMBS, AND SILLS OF WINDOWS AND DOOR OPENINGS. SEE TYP. DETAIL
- J. PROVIDE CONTINUOUS SEALANT BEAD WHERE STUCCO ABUTS WINDOWS AND DOORS FRAME SO AS TO PROVIDE A WEATHER RESISTIVE BARRIER.REFER TO DETAIL.
- K. PROVIDE CONT. 26 GA. G.I. WEEP SCREED, WITH 3-1/2" VERTICAL NAILING FLANGE AT +4" ABOVE FINISH GRADE SEE DTL. 100
- L. ALL NON-VERTICAL STUCCO SURFACES (STUCCO SHAPES)TO BE SLOPED MIN 1/8" PER 12" AND WATER-PROOFED WITH ONE LAYER OF BITHETHANE WATERPROOF MEMBRANE.

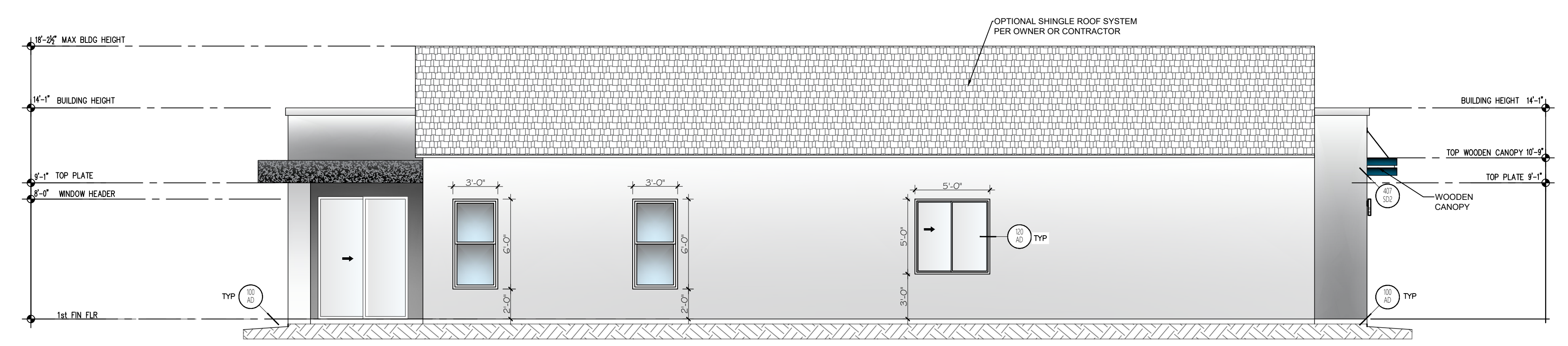
**LEGEND:**

 <b>ASPHALT SHINGLE ROOF SYSTEM ESR-1475</b>	 <b>GEORGETOWN GRAY</b>	 <b>SHIPLAP SIDING SYSTEM ESR-1301</b>	 <b>GRAY HARDIE PLANK</b>
 <b>STUCCO SYSTEM ESR-2323</b>	 <b>SAND FINISHED STUCCO</b>	 <b>EXTERIOR PAINT FINISHES</b>	 <b>EXTERIOR PAINT FINISHES FOR POP-OUT</b>

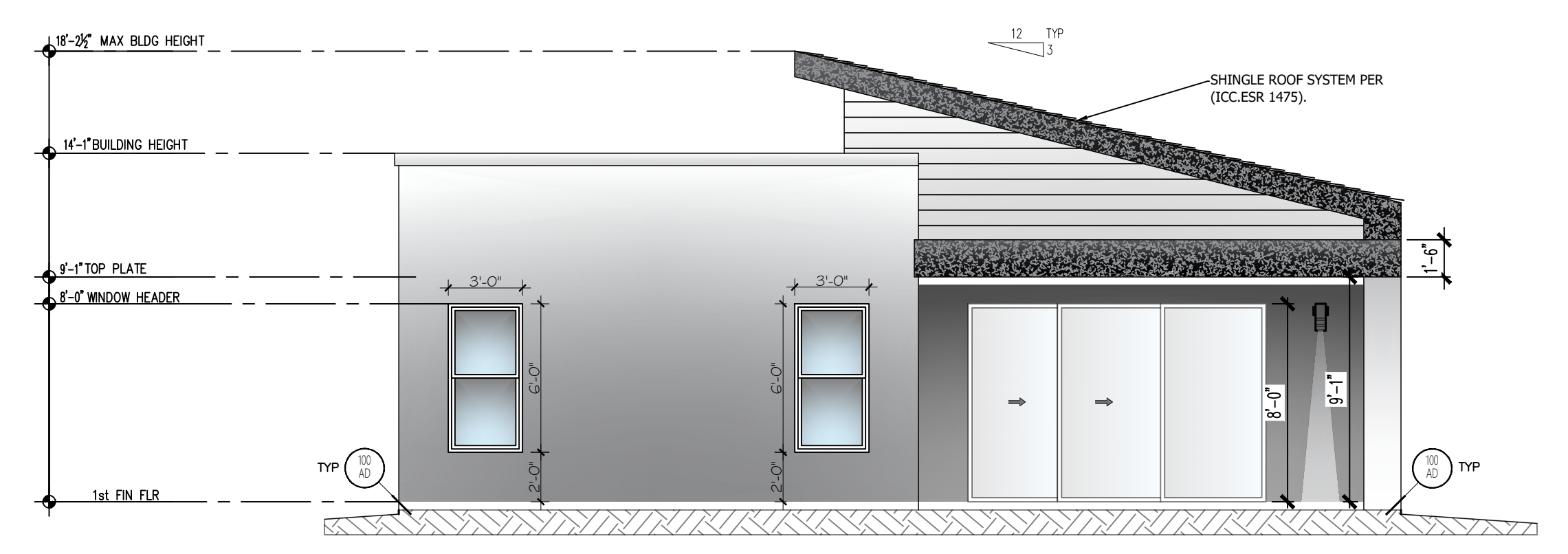
- NOTE:**
- TRIM/ACCENT TO BE PAINTED WITH A VARY COLOR FROM THE PRIMARY COLOR AND MATERIALS OF THE BUILDING
  - WINDOW AND SLIDING GLASS DOOR TRIM TO BE VINYL MATERIAL AND OTHER DOORS TO BE WOOD
  - GARAGE DOOR, MATERIAL TO BE ALUMINUM AND COLOR SUBSTANTIALLY SIMILAR TO HOUSE.
  - CONTRACTOR WILL BE FREE TO CHANGE METAL FASCIA PANELS PER STUCCO OR SIDING SYSTEM BY THE ESR ON THIS SHEET



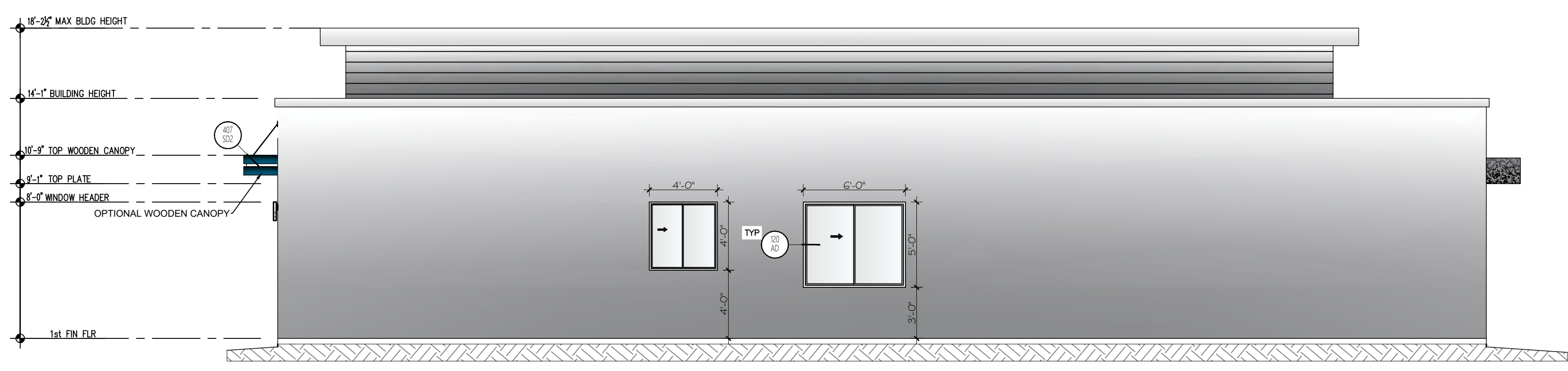
**1 FRONT ELEVATION (SOUTH)**  
 Scale: 3/16"=1'-00"



**2 RIGHT ELEVATION (EAST)**  
 Scale: 3/16"=1'-00"

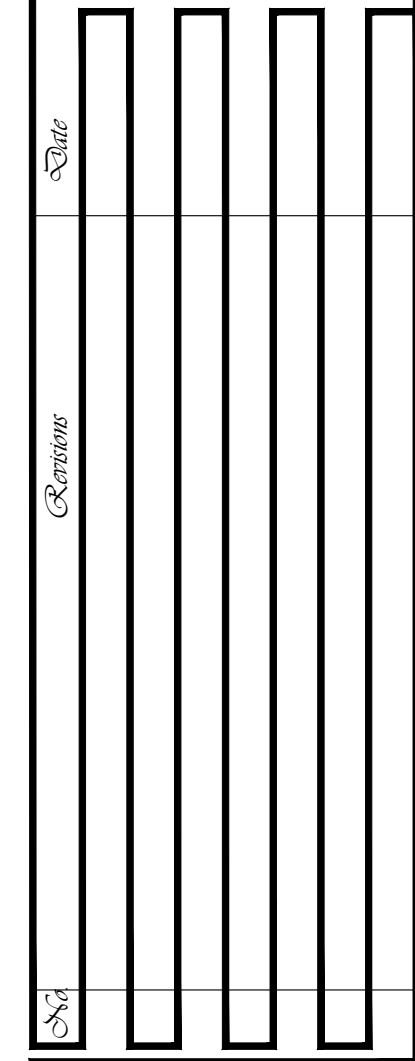


**3 REAR ELEVATION (NORTH)**  
 Scale: 3/16"=1'-00"



**4 LEFT ELEVATION (WEST)**  
 Scale: 3/16"=1'-00"

**ELEVATIONS PLAN**  
 SCALE: 3/16" = 1'-0"



**9016 S CALLE VAUO NAWI**  
**GUADALUPE, AZ 85283**  
**CONTRACT:** (623) 853 3751  
**DRAWN BY:** Esly Villar  
**CHECKED BY:** ARQM LLC  
**DATE:**  
**SCALE:** PER PLAN  
**SHEET:** A2

**RESOLUTION NO. R2022.07**

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF GUADALUPE, MARICOPA COUNTY, ARIZONA, AUTHORIZING THE SUBMITTAL OF NOMINATIONS OF THE GUADALUPE CEMETERY TO THE NATIONAL REGISTER OF HISTORIC PLACES AND CITY OF TEMPE HISTORIC PROPERTY REGISTER.**

**WHEREAS**, the Guadalupe Town Cemetery, established circa 1898 and located at 4649 South Beck Avenue in Tempe, Arizona, is owned and maintained by the Town of Guadalupe; and

**WHEREAS**, the five-acre cemetery contains hundreds of gravesites reflecting the Mexican and indigenous cultural traditions of the community and has been used continuously by the Yaqui and Hispanic populations of the Town of Guadalupe since the end of the nineteenth century; and

**WHEREAS**, the Guadalupe Cemetery is significant to the history of the State of Arizona and eligible for the National Register of Historic Places as the location of the first formally identified, historic era settlement of Yaqui Indian people in the Salt River valley and is a Traditional Cultural Property of both the Yaqui and Hispanic populations of the Town of Guadalupe; and

**WHEREAS**, the site is an important Traditional Cultural Property for Yaqui and Hispanic-descended members of the Guadalupe community, serving as a source of demographic data important to understanding the cultural and ethnic development of the Guadalupe community and the larger Salt River Basin area in the twentieth century.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF GUADALUPE, ARIZONA AS FOLLOWS:

Submittal of nominations of the Guadalupe Town Cemetery for recognition by the National Register of Historic Places and the City of Tempe Historic Property Register is hereby approved by the Town of Guadalupe Town Council.

PASSED AND ADOPTED BY THE TOWN COUNCIL OF THE TOWN OF GUADALUPE, ARIZONA, THIS 10<sup>th</sup> DAY OF MARCH, 2022.

\_\_\_\_\_  
Valerie Molina, Mayor

ATTEST:

APPROVED AS TO FORM:

\_\_\_\_\_  
Jeff Kulaga, Town Manager / Clerk

\_\_\_\_\_  
David E. Ledyard, Esq.  
FAITH, LEDYARD & FAITH, PLC  
Town Attorney's



**United States Department of the Interior  
 National Park Service**

**National Register of Historic Places Registration Form**

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in National Register Bulletin, *How to Complete the National Register of Historic Places Registration Form*. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions.

**1. Name of Property**

Historic name: Guadalupe Cemetery

Other names/site number: Old Guadalupe

Name of related multiple property listing:  
N/A

(Enter "N/A" if property is not part of a multiple property listing)

**2. Location**

Street & number: 4649 S. Beck Avenue

City or town: Tempe State: AZ County: Maricopa

Not For Publication:  Vicinity:

**3. State/Federal Agency Certification**

As the designated authority under the National Historic Preservation Act, as amended,

I hereby certify that this \_\_\_ nomination \_\_\_ request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60.

In my opinion, the property \_\_\_ meets \_\_\_ does not meet the National Register Criteria. I recommend that this property be considered significant at the following level(s) of significance:

\_\_\_ national \_\_\_ statewide \_\_\_ local

Applicable National Register Criteria:

\_\_\_A \_\_\_B \_\_\_C \_\_\_D

<p>_____  <b>Signature of certifying official/Title:</b></p>	<p>_____  <b>Date</b></p>
<p>_____  <b>State or Federal agency/bureau or Tribal Government</b></p>	

Guadalupe Cemetery  
Name of Property

Maricopa County, Arizona  
County and State

In my opinion, the property \_\_\_ meets \_\_\_ does not meet the National Register criteria.

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**Signature of commenting official:** \_\_\_\_\_ **Date** \_\_\_\_\_

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**Title :** \_\_\_\_\_ **State or Federal agency/bureau or Tribal Government** \_\_\_\_\_

**4. National Park Service Certification**

I hereby certify that this property is:

- \_\_\_ entered in the National Register
- \_\_\_ determined eligible for the National Register
- \_\_\_ determined not eligible for the National Register
- \_\_\_ removed from the National Register
- \_\_\_ other (explain:) \_\_\_\_\_

\_\_\_\_\_  
Signature of the Keeper

\_\_\_\_\_  
Date of Action

**5. Classification**

**Ownership of Property**

(Check as many boxes as apply.)

- Private:
- Public – Local
- Public – State
- Public – Federal

**Category of Property**

(Check only **one** box.)

- Building(s)
- District
-

Guadalupe Cemetery  
Name of Property

Maricopa County, Arizona  
County and State

Site

Structure

Object

**Number of Resources within Property**

(Do not include previously listed resources in the count)

Contributing

Noncontributing

\_\_\_\_\_

\_\_\_\_\_

buildings

1

\_\_\_\_\_

sites

\_\_\_\_\_

1

structures

\_\_\_\_\_

\_\_\_\_\_

objects

\_\_\_\_\_

\_\_\_\_\_

Total

Number of contributing resources previously listed in the National Register 0

**6. Function or Use**

**Historic Functions**

(Enter categories from instructions.)

Religion (Ceremonial Site)

Funerary (Cemetery)

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**Current Functions**

(Enter categories from instructions.)

Religion (Ceremonial Site)

Funerary (Cemetery)

\_\_\_\_\_

\_\_\_\_\_

Guadalupe Cemetery  
Name of Property

Maricopa County, Arizona  
County and State

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## 7. Description

### Architectural Classification

(Enter categories from instructions.)

N/A  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Materials:** (enter categories from instructions.)

Principal exterior materials of the property: N/A

### Narrative Description

(Describe the historic and current physical appearance and condition of the property. Describe contributing and noncontributing resources if applicable. Begin with a **summary paragraph** that briefly describes the general characteristics of the property, such as its location, type, style, method of construction, setting, size, and significant features. Indicate whether the property has historic integrity.)

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### Summary Paragraph

The Guadalupe Cemetery occupies five acres in the City of Tempe, Arizona. It is located at the site of the original Yaqui settlement of Guadalupe and has been used continuously by the Yaqui and Hispanic populations of the Town of Guadalupe since the end of the nineteenth century. The cemetery is filled with hundreds of gravesites, with markers that reflect the Mexican and indigenous cultural traditions of the community. They are arranged in varying densities and orientations across the site, dating from the last years of the nineteenth century to the present. Located in an unirrigated desert setting, landscape vegetation is limited with a few large tamarisk and smaller palo verde and mesquite trees scattered across the property. Vehicle accessways and paths are natural sand and gravel. A non-contributing tile-roofed masonry and metal post shade structure used for funerals and Dia de los Muertos (Day of the Dead) ceremonies is located near the center of the property. The cemetery is bounded by a non-contributing CMU block wall that is decorated in various locations with painted murals. A metal gate at the west end of the south wall provides access to the cemetery. A small, asphalt paved parking area is located at the southwest corner of the property. Though now surrounded by suburban development on all sides, the cemetery retains historic integrity particularly through its location, and feeling and association as a Traditional Cultural Property.

Guadalupe Cemetery  
Name of Property

Maricopa County, Arizona  
County and State

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### **Narrative Description**

The Guadalupe Cemetery is located approximately one half mile southeast of the intersection of Interstate 10 and U.S. 60 in west-central Tempe, Arizona. When Yaqui Indian settlers first established their community at the site at the end of the nineteenth century, the surrounding lands were agricultural fields interspersed with vacant desert land. During the first six decades of the twentieth century agricultural use intensified and expanded throughout the area. In the 1970s residential development was initiated adjacent to the property and it is now surrounded on the west by a mobile home park and on the north, south, and east by single family homes.

Community management of the cemetery has been informal for the one hundred and twenty or more years that it has been active, with burial locations determined by community leaders in consultation with the families of decedents. As a result, the cemetery's hundreds of gravesites are found in varying densities and orientations. Most of the graves include grave mounds. Many of the graves are marked with large, wooden, white-painted crosses, but diverse other grave markers including carved wood, metal, and concrete crosses and some marble and concrete headstones are found throughout the cemetery. Some graves are bounded by concrete, masonry, or wooden borders. Other graves and family groupings are surrounded by post-and-chain barriers, wooden or metal picket fences, or fences of other materials. Some graves include concrete statuary, flag poles, and other ornamentation. Some graves are unmarked, save for the grave mound. In keeping with Yaqui cultural tradition, personal items and candles are placed at many graves. During the Dia de los Muertos (Day of the Dead) celebration on November 2 each year, large numbers of families come to spend the day at the cemetery at the graves of their loved ones, and many of the graves are decorated with handmade paper flowers and other items. Also on Dia de los Muertos, Yaqui Matachine dancers conduct ceremonial activities to bless the site.

The cemetery is bounded by a non-contributing CMU block wall that is decorated in various locations with painted murals. Access to the property is from the south via Beck Avenue. An iron gate marked "Guadalupe Cemetery," most likely installed in the 1970s (Glaser 1994:7) identifies

Guadalupe Cemetery  
 Name of Property

Maricopa County, Arizona  
 County and State

the entrance, with a small, paved parking area located just inside the gate at the southwest corner. A non-contributing, tile-roofed masonry and metal post shade structure that is used for funerals and during Dia de los Muertos ceremonies is located near the center of the property.

## 8. Statement of Significance

### Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- A. Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B. Property is associated with the lives of persons significant in our past.
- C. Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D. Property has yielded, or is likely to yield, information important in prehistory or history.

### Criteria Considerations

(Mark "x" in all the boxes that apply.)

- A. Owned by a religious institution or used for religious purposes
- B. Removed from its original location
- C. A birthplace or grave
- D. A cemetery
- E. A reconstructed building, object, or structure
- F. A commemorative property
- G. Less than 50 years old or achieving significance within the past 50 years

Guadalupe Cemetery  
Name of Property

Maricopa County, Arizona  
County and State

**Areas of Significance**

(Enter categories from instructions.)

- Exploration/Settlement
- Ethnic Heritage – Native American (Yaqui)
- Ethnic Heritage – Hispanic
- Religion

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**Period of Significance**

ca. 1898 - present

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**Significant Dates**

1898

1910

---

**Significant Person**

(Complete only if Criterion B is marked above.)

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---

**Cultural Affiliation**

Native American (Yaqui)

Hispanic

---

**Architect/Builder**

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Guadalupe Cemetery  
 Name of Property

Maricopa County, Arizona  
 County and State

**Statement of Significance Summary Paragraph** (Provide a summary paragraph that includes level of significance, applicable criteria, justification for the period of significance, and any applicable criteria considerations.)

The Guadalupe Cemetery is significant to the history of the State of Arizona and eligible for the National Register of Historic Places under Criteria A as the location of the first formally identified, historic era settlement of Yaqui Indian people in the Salt River valley. Yaqui people have shaped the history of Arizona from the early colonial period as a significant portion of the region's labor force in agriculture, ranching, mining, and the development of transportation infrastructure, and were crucial to the development and maintenance of irrigated agriculture in the Salt River basin. The cemetery is also eligible under Criteria D because the site may provide demographic data important to understanding the cultural and ethnic development of the Guadalupe community and the larger Salt River Basin/Phoenix area in the twentieth century. Although not a focus of this nomination, the cemetery is the last remaining minimally developed portion of La Ciudad de los Hornos (AZ U:9:48[ASM]) and could also provide important information about the Hohokam period in the region. The site's period of significance extends from its establishment ca. 1898 through the present because of its status as an important Traditional Cultural Property for Yaqui and Hispanic-descended members of the Guadalupe community. Its continuous use as a burial ground reinforces and strengthens its status as a Traditional Cultural Property. Likewise, it is eligible for the National Register under Criteria Consideration D, a cemetery, because it is the site of ongoing cultural rituals and because of its central role in the maintenance of cultural traditions for the Guadalupe community.

**Narrative Statement of Significance** (Provide at least **one** paragraph for each area of significance.)

Exploration/Settlement: The historically known core homeland of the Hiaki Yoemem (Yaqui People) is located along the lower Yaqui River in southern Sonora, Mexico (Folsom 2014; Spicer 1980). One of the most fertile areas in the entire region, the land supported a population of 30,000 or more Hiaki at time of first interaction with Spanish invaders in the sixteenth century (Pérez de Ribas 1999:328). From this core area, ancestral Hiakis moved extensively throughout the entire Sonoran Desert and surrounding regions and are culturally affiliated with the Ancestral Sonoran Desert Peoples and with the Ancestral Puebloan Peoples of the regions now identified as northern Sonora and Chihuahua in Mexico and Arizona and New Mexico in the United States.

Hiaki oral traditions tell of Hiaki ancestors traveling, trading, and living among other ancestral communities throughout the region that now includes the states of Sonora and Baja California in



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Mexico and Arizona and parts of California, New Mexico, Colorado, and Texas in the United States (Valencia Tori 1993; see also Spicer 1988:1). In Arizona, ancient Hiaki communities were located along the Santa Cruz River at Tumacacori, at a place in the current Tucson basin originally called Val-Gojoria and known more recently as Jaynes Station, and at the location of the central Arizona town of Toltec (Valencia Tori 1993). Near the Colorado River in the vicinity of Somerton, Arizona, Siva Koviku is another Hiaki community with roots extending into antiquity (ibid.).

When Jesuit missionaries and Spanish explorers entered the area in the late seventeenth and early eighteenth centuries, they were assisted in part by Yaquis knowledgeable about the entire Sonoran Desert region. Yaquis appear in the records of the northern Sonora and southern Arizona missions by the 1720s, and throughout the Spanish colonial era Yaquis are the second-most commonly recorded indigenous people, next to O'odham, in the mission records in what would become southern Arizona and northern Sonora, Mexico (see the Mission 2000 database at <https://www.nps.gov/applications/tuma/search.cfm>). Yaqui families continued to make up a meaningful minority of the increasingly multicultural Arizona region throughout the eighteenth and nineteenth centuries.

In the last quarter of the nineteenth century and continuing during the first decades of the twentieth, increasing numbers of Yaqui people moved north into Arizona and other areas under U.S. control to escape intensifying genocidal efforts of the Porfirio Diaz government in Mexico. Recognizing employment opportunities working for the irrigation companies and the farmers and ranchers who benefited from the expanding irrigation networks in the Salt River Valley, Yaqui families moved into this part of central Arizona beginning in the 1880s.

On February 1, 1898, Tempe homesteader Sylvester Roche transferred five acres of his land to the Catholic Church (Glaser 1996a:21). This is the land that would become the Guadalupe Cemetery. The property is located near the center of an expansive ancient village site that was occupied by the ancestral people known archaeologically as the Hohokam for some 800 years ending in the mid-1400s C.E. (Willcox, Howard, and Nelson 1990). The site, numbered AZ U:9:48 (ASM) and named by archaeologists La Ciudad de los Hornos (City of the Ovens), was served by irrigation ditches from the Salt River and covered some 450 acres in what is now the west-central portion of the City of Tempe. At the time that the Guadalupe Cemetery was established, a Hohokam platform mound remained extant adjacent to the northeast corner of the cemetery property. It is evident from this geographical association that the existence of the mound had some bearing on the location of the original Yaqui settlement and cemetery.

Located just south of the Wormser Canal, an extension of the Tempe Canal that had been constructed in 1871 and roughly paralleled ancient Hohokam canals, the land was apparently adequately fertile and irrigable for subsistence farming, but without consistent access to irrigation water that would make it viable for commercial agriculture. It is reported that beginning in the late 1890s the Catholic Church began to encourage Yaquis to settle on the five acre parcel the Church had purchased. Yaquis began to concentrate at the site, and named their community "Guadalupe" in honor of La Virgen de Guadalupe, the patron Saint of Mexico

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(Glaser 1996a:21). Thus the first historic-era Yaqui settlement in the Salt River Valley was established.

The Yaqui immigrants secured employment with local agricultural interests, and most significantly with the Salt River Water Users' Association. Beginning as early as 1907 Yaqui laborers made up an important component of the association's irrigation canal construction and maintenance labor force, a role they would continue into the 1950s when machinery began to replace manual labor in the ditches (Glaser 1996b). Bud Simser, a supervisor for the Salt River Valley Water Users Association, told an interviewer that without the labor provided by Yaqui workers during the first half of the twentieth century, the Association would have had to shut down (quoted in Glaser 1996a:54). By 1936 Yaqui laborers made up an estimated seven percent of the Arizona agricultural workforce, the largest ethnic group represented after "Mexican" (which almost certainly included some Yaquis) and "non-Mexican white" (Tetreau 1939:302).

In the years before Dane Coolidge published an article about the community in 1909, the Yaqui community of Guadalupe had constructed a modest but neat adobe church building at the site in addition to many expediently built homes and shade structures (ramadas). Traditional Yaqui religious rites were performed in and near the church, including Matachine dances documented by Coolidge (Coolidge 1909). Yaqui families established their homes all around the five acre Church-owned property, including on top of the ancient Hohokam platform mound (Wilcox, Howard, and Nelson 1990:10).

In 1910 the Yaquis' use of the land around the cemetery came into legal question, possibly because of the fact that the settlement had expanded beyond the limits of the Church's five acres. In anticipation of the completion of the Roosevelt Dam on the Salt River, and with it a steady supply of irrigation water, farmers and land speculators were jockeying for control of the lands that were soon to increase in value and productivity, and they may have objected to the Yaqui settlement. Father Lucius Zittier, a Franciscan missionary, began looking for options to relocate the Yaquis. The effort was complicated by the federal government's removal from the public domain of the lands that would be subject to irrigation from the Roosevelt Dam, but the settlement was relocated a mile and a half to the southwest to donated land adjacent to the northeastern edge of South Mountain near a hilltop where the Yaqui settlers conducted annual Santa Cruz ceremonies. Zittier's efforts to patent a forty acre townsite were not perfected, resulting in confusion and disputes over land ownership in the new town of Guadalupe that would continue into the 1960s (Zittier files n.d.). After their move, the community continued to use the church and cemetery at the original site, which remained under ownership of the Roman Catholic Church of the Diocese of Phoenix until the Diocese quit-claimed the property to the Town of Guadalupe in 1979. The adobe church at the Guadalupe Cemetery appears on the 1915 USGS Mesa, Arizona quadrangle map. However, it fell into disuse when a new church was completed at the new townsite by about 1916 (Glaser 1996a:26), and by 1928 when Frank Midvale documented the underlying Hohokam site, all that remained of the church was a portion of one adobe wall (Glaser 1994:6).

Ethnic Heritage – Native American (Yaqui): The resting places of ancestors are sacred to Yaqui people, and because of this, cemeteries are of central importance for protection as heritage places

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and are properly identified as Traditional Cultural Properties. Furthermore, Yaqui cemeteries provide a permanent spatial grounding for communities that have been subject to frequent dislocation and upheaval for hundreds of years. The Guadalupe Cemetery provides a place for the Yaqui people of Guadalupe and the wider Salt River Valley to come back to in order to reconnect with their ancestors and families. The Guadalupe Cemetery is also a living place for the celebration and reaffirmation of Yaqui heritage. The most important community-wide expression of this is the annual commemoration of Dia de los Muertos (Day of the Dead). Dia de los Muertos, November 2, culminates the month-long period of Animas, during which the spirits of the departed visit their loved ones. During Animas, Yaqui families place mesitas (little tables) outside their homes where cups of coffee, favorite foods, and other gifts are offered to the visiting spirits. On Dia de los Muertos, families come to spend the day at the graves of their loved ones, picnicking and celebrating their families. Many families create crepe paper flowers and paper-flower covered wreaths that are placed on the graves. During the day the cemetery is blessed by Matachinis, members of a religious society dedicated to the Virgin Mary who perform ritual dances accompanied by guitar and violin.

Ethnic Heritage – Hispanic: The Guadalupe Cemetery plays a similar role for the Mexican and Mexican American community of the Town of Guadalupe as for the Yaqui residents of the town, and is therefore a Traditional Cultural Property of the Hispanic population of the town. Dia de los Muertos is commemorated by the Hispanic population of Guadalupe in a manner similar to that of the Yaqui, with families coming together to spend the day at the graves of their loved ones.

Religion: The Guadalupe Cemetery was the site of the first Yaqui church in the Salt River Valley. Through the performance of ceremonial activities, the place was rendered sacred. The veneration of the site has continued since the turn of the twentieth century. Although the full ceremonial round was relocated to the new Guadalupe townsite in the 1910s and the original church building has been lost, religious practice through the performance of Matachine blessings continues annually at the cemetery as detailed above.

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## 9. Major Bibliographical References

**Bibliography** (Cite the books, articles, and other sources used in preparing this form.)

Coolidge, Dane

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1996a *The Story of Guadalupe, Arizona: The Survival and Preservation of a Yaqui Community*. M.A. Thesis, Arizona State University, Tempe.

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1980 *The Yaquis, A Cultural History*. University of Arizona Press, Tucson.

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Tetreau, E.D.

1939 *Arizona's Farm Laborers*. University of Arizona: College of Agriculture, Agricultural Experiment Station, Tucson.

Trujillo, Octaviana V.

1998 The Yaqui of Guadalupe, Arizona: A Century of Cultural Survival through Trilingualism. *American Indian Culture and Research Journal* 22(4):67-88.

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Valencia Tori, Anselmo

1993 Statement of Anselmo Valencia. Part of Pascua Yaqui Status Clarification Act hearing before the Subcommittee on Native American Affairs of the Committee on Natural Resources, House of Representatives, 103 U.S. Congress. April 30, 1993. Accessed at <https://www.govinfo.gov/content/pkg/CHRG-103hhr69904/pdf/CHRG-103hhr69904.pdf> 5/26/2021.

Wilcox, David, Jerry B. Howard, Rueben H. Nelson  
 1990 *One Hundred Years of Archaeology at La Ciudad de Los Hornos*. Soil Systems Publications in Archaeology ,16. Soil Systems, Inc., Phoenix, AZ.

Zittier, Father Lucius  
 n.d. Miscellaneous manuscript file regarding Town of Guadalupe. San Xavier Library, Tucson. Copy on file at Pascua Yaqui Tribal Historic Preservation Office.

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**Previous documentation on file (NPS):**

- preliminary determination of individual listing (36 CFR 67) has been requested  
 previously listed in the National Register  
 previously determined eligible by the National Register  
 designated a National Historic Landmark  
 recorded by Historic American Buildings Survey # \_\_\_\_\_  
 recorded by Historic American Engineering Record # \_\_\_\_\_  
 recorded by Historic American Landscape Survey # \_\_\_\_\_

**Primary location of additional data:**

- State Historic Preservation Office  
 Other State agency  
 Federal agency  
 Local government  
 University  
 Other  
 Name of repository: Arizona State University

**Historic Resources Survey Number (if assigned):** \_\_\_\_\_

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**10. Geographical Data**

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**Acreege of Property** 5

Use either the UTM system or latitude/longitude coordinates

**Latitude/Longitude Coordinates**

Datum if other than WGS84: \_\_\_\_\_

(enter coordinates to 6 decimal places)

- 1. Latitude: \_\_\_\_\_ Longitude: \_\_\_\_\_
- 2. Latitude: \_\_\_\_\_ Longitude: \_\_\_\_\_
- 3. Latitude: \_\_\_\_\_ Longitude: \_\_\_\_\_
- 4. Latitude: \_\_\_\_\_ Longitude: \_\_\_\_\_

**Or**

**UTM References**

Datum (indicated on USGS map):

NAD 1927 or  NAD 1983

- 1. Zone: 12N Easting: 411103 Northing: 3694095
- 2. Zone: \_\_\_\_\_ Easting: \_\_\_\_\_ Northing: \_\_\_\_\_
- 3. Zone: \_\_\_\_\_ Easting: \_\_\_\_\_ Northing: \_\_\_\_\_
- 4. Zone: \_\_\_\_\_ Easting : \_\_\_\_\_ Northing: \_\_\_\_\_

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**Verbal Boundary Description** (Describe the boundaries of the property.)

A parcel of land lying in the SW1/4 of Section 33, Township 1 North, Range 4 East, Gila and Salt River Base and Meridian, Maricopa County, Arizona, described as follows:

Beginning at the southwest corner of Lot 25, Southern Palms, Unit Four, a subdivision recorded in Book 210 of Maps, page 13, M.C.R., and being the northwest corner of the following parcel:

Thence South 89° 57' 09" East, 550.00 ft.;

Thence South 62° 50' 42" East, 31.51 ft.;

Thence South 01° 18; 18" East, 395.93 ft.;

Thence North 88° 32' 40" West, 580.06 ft. to a point on the West line of the NE1/4 SW1/4 of said Section 33; Thence North 01° 34' 11" East, along said West line, 396.08 ft. to the true point of beginning.

**Boundary Justification** (Explain why the boundaries were selected.)

Recorded legal boundaries of the property.

**11. Form Prepared By**

name/title: Karl A. Hoerig, Tribal Historic Preservation Officer

organization: Pascua Yaqui Tribe

street & number: 7777 S. Camino Huiivism, Building C

city or town: Tucson state: AZ zip code: 85757

e-mail karl.hoerig@pascuayaqui-nsn.gov

telephone: (520) 883-5116

date: \_\_\_\_\_

**Additional Documentation**

Submit the following items with the completed form:

- **Maps:** A **USGS map** or equivalent (7.5 or 15 minute series) indicating the property's location.
- **Sketch map** for historic districts and properties having large acreage or numerous resources. Key all photographs to this map.

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- **Additional items:** (Check with the SHPO, TPO, or FPO for any additional items.)

### Photographs

Submit clear and descriptive photographs. The size of each image must be 1600x1200 pixels (minimum), 3000x2000 preferred, at 300 ppi (pixels per inch) or larger. Key all photographs to the sketch map. Each photograph must be numbered and that number must correspond to the photograph number on the photo log. For simplicity, the name of the photographer, photo date, etc. may be listed once on the photograph log and doesn't need to be labeled on every photograph.

### Photo Log

Name of Property:

City or Vicinity:

County:

State:

Photographer:

Date Photographed:

Description of Photograph(s) and number, include description of view indicating direction of camera:

1 of \_\_\_\_.



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**Paperwork Reduction Act Statement:** This information is being collected for nominations to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C.460 et seq.). We may not conduct or sponsor and you are not required to respond to a collection of information unless it displays a currently valid OMB control number.

**Estimated Burden Statement:** Public reporting burden for each response using this form is estimated to be between the Tier 1 and Tier 4 levels with the estimate of the time for each tier as follows:

- Tier 1 – 60-100 hours
- Tier 2 – 120 hours
- Tier 3 – 230 hours
- Tier 4 – 280 hours

The above estimates include time for reviewing instructions, gathering and maintaining data, and preparing and transmitting nominations. Send comments regarding these estimates or any other aspect of the requirement(s) to the Service Information Collection Clearance Officer, National Park Service, 1201 Oakridge Drive Fort Collins, CO 80525.

DRAFT

Tribal Historic Preservation Office  
Pascua Yaqui Tribe  
7777 S. Camino Huivism, Building C  
Tucson, AZ 85757

City of Tempe  
Historic Preservation Office  
Community Development Department  
P.O. Box 5002  
Tempe, AZ 85280

Dear Friends,

I am writing to nominate the Guadalupe Cemetery to the Tempe Historic Property Register. The Guadalupe Cemetery, located at 4649 S. Beck Avenue in Tempe, is an historic site important in the history of the settlement of the Salt River Valley and a vital Traditional Cultural Property for the people of the Town of Guadalupe. This nomination is being submitted concurrently with a nomination to the National Register of Historic Places.

The Guadalupe Cemetery is the original location of the first historic period Yaqui settlement in the Salt River Valley. Title to the five acre parcel that now comprises the cemetery was obtained by the Catholic Diocese of Tucson on February 1, 1898 from Mr. Silvester Roche, a Tempe homesteader (Glaser 1996:21). The property is located near the center of the Hohokam village site known as Ciudad de los Hornos (AZ U:9:48 [ASM]), and immediately adjacent to the site's Classic Period platform mound (Willcox, Howard, and Nelson 1990). It is apparent by the juxtaposition that the existence of the mound had some bearing on the location of the Yaqui settlement and cemetery. By the turn of the twentieth century the Church was encouraging Yaqui people to settle at the site, and within a few years the settlers had constructed an adobe church building near the southwest corner of the property and expediently-built houses and shade structures all around the vicinity including on top of the platform mound. In 1909 photographer Dane Coolidge documented Yaqui Matachine dances held at the site (Coolidge 1909).

In 1910 the Yaquis' use of the land around the cemetery came into legal question, possibly because of the fact that the settlement had expanded beyond the limits of the Church's five acres and onto land claimed by others. In anticipation of the completion of the Roosevelt Dam on the Salt River, and with it a steady supply of irrigation water, farmers and land speculators were jockeying for control of the lands that were soon to increase in value and productivity, and they may have objected to the Yaqui settlement. Father Lucius Zittier, a Franciscan missionary, began looking for options to relocate the Yaquis. The effort was complicated by the federal government's removal from the public domain of the lands that would be subject to irrigation from the Roosevelt Dam, but the settlement was relocated a mile and a half to the southwest to donated land adjacent to the northeastern edge of South Mountain near a hilltop where the Yaqui settlers conducted annual Santa Cruz ceremonies. The donor's ownership of the donated land was contested and found invalid (Glase 1996:27), and Zittier's subsequent efforts to patent a forty acre townsite were not perfected, resulting in confusion and disputes over land ownership

in the new town of Guadalupe that would continue into the 1960s (Zittier files n.d.). After their move, the community continued to use the church and cemetery at the original site, which remained under ownership of the Roman Catholic Church of the Diocese of Phoenix until the Diocese quit-claimed the property to the Town of Guadalupe in 1979 (Maricopa County, Arizona, Recorder's Office document 19890535214). The adobe church at the Guadalupe Cemetery remained for a few years after the Yaqui settlers moved to the new townsite, and it appears on the 1915 USGS Mesa, Arizona quadrangle map. However, it fell into disuse when a new church was completed at the new townsite by about 1916 (Glaser 1996:26), and by 1928 when Frank Midvale documented the underlying Hohokam site, all that remained of the church was a portion of one adobe wall (Glaser 1994:6).

The resting places of ancestors are sacred to Yaqui people, and because of this, cemeteries are of central importance for protection as heritage places and are properly identified as Traditional Cultural Properties. Furthermore, Yaqui cemeteries provide a permanent spatial grounding for communities that have been subject to frequent dislocation and upheaval for hundreds of years. The Guadalupe Cemetery provides a place for the Yaqui people of Guadalupe and the wider Salt River Valley to come back to in order to reconnect with their ancestors and families. The Guadalupe Cemetery is also a living place for the celebration and reaffirmation of Yaqui heritage. The most important community-wide expression of this is the annual commemoration of Dia de los Muertos (Day of the Dead). Dia de los Muertos, November 2, culminates the month-long period of Animas, during which the spirits of the departed visit their loved ones. During Animas, Yaqui families place mesitas (little tables) outside their homes where cups of coffee, favorite foods, and other gifts are offered to the visiting spirits. On Dia de los Muertos, families come to spend the day at the graves of their loved ones, picnicking and celebrating their families. Many families create crepe paper flowers and paper-flower covered wreaths that are placed on the graves. During the day the cemetery is blessed by Matachines, members of a religious society dedicated to the Virgin Mary who perform ceremonial dances accompanied by guitar and violin.

The Guadalupe Cemetery plays a similar role for the Mexican and Mexican American community of the Town of Guadalupe as for the Yaqui residents of the town, and is therefore also a Traditional Cultural Property of the Hispanic population of the town. Dia de los Muertos is commemorated by the Hispanic population of Guadalupe in a manner similar to that of the Yaqui, with families coming together to spend the day at the graves of their loved ones.

The Guadalupe Cemetery is significant to the history of the State of Arizona and to the City of Tempe as the location of the earliest, formally identified historic era settlement of Yaqui Indian people in the Salt River valley. Yaqui people have shaped the history of Arizona since before the colonial period as a significant portion of the region's labor force in agriculture, ranching, mining, and the development of transportation infrastructure, and were crucial to the late nineteenth and early twentieth century development and maintenance of irrigated agriculture in the Salt River basin. The cemetery may also provide demographic data important to understanding the cultural and ethnic development of the Guadalupe community, the City of Tempe, and the larger Salt River Valley/Phoenix area in the twentieth century. Although not a

focus of this nomination, the cemetery is the last remaining minimally developed portion of La Ciudad de los Hornos and could also provide important information about the Hohokam period in the region. The site's period of significance extends from its establishment ca. 1898 through the present because of its status as an important Traditional Cultural Property for Yaqui and Hispanic-descended members of the Guadalupe community. Its continuous use as a burial ground reinforces and strengthens its status as a Traditional Cultural Property.

The historically known core homeland of the Hiaki Yoemem (Yaqui People) is located along the lower Yaqui River in southern Sonora, Mexico (Folsom 2014; Spicer 1980). One of the most fertile areas in the entire region, the land supported a population of 30,000 or more Hiaki at time of first interaction with Spanish invaders in the sixteenth century (Pérez de Ribas 1999:328). From this core area, ancestral Hiakis moved extensively throughout the entire Sonoran Desert and surrounding regions and are culturally affiliated with the Ancestral Sonoran Desert Peoples and with the Ancestral Puebloan Peoples of the regions now identified as northern Sonora and Chihuahua in Mexico and Arizona and New Mexico in the United States.

Hiaki oral traditions tell of Hiaki ancestors traveling, trading, and living among other ancestral communities throughout the region that now includes the states of Sonora and Baja California in Mexico and Arizona and parts of California, New Mexico, Colorado, and Texas in the United States (Valencia Tori 1993; see also Spicer 1988:1). In Arizona, ancient Hiaki communities were located along the Santa Cruz River at Tumacacori, at a place in the current Tucson basin originally called Val-Gojoria and known more recently as Jaynes Station, and at the location of the central Arizona town of Toltec (Valencia Tori 1993). Near the Colorado River in the vicinity of Somerton, Arizona, Siva Koviku is another Hiaki community with roots extending into antiquity (ibid.).

When Jesuit missionaries and Spanish explorers entered the area in the late seventeenth and early eighteenth centuries, they were assisted in part by Yaquis knowledgeable about the entire Sonoran Desert region. Yaquis appear in the records of the northern Sonora and southern Arizona missions by the 1720s, and throughout the Spanish colonial era Yaquis are the second-most commonly recorded indigenous people, next to O'odham, in the mission records in what would become southern Arizona and northern Sonora, Mexico (see the Mission 2000 database at <https://www.nps.gov/applications/tuma/search.cfm>). Yaqui families continued to make up a meaningful minority of the increasingly multicultural Arizona region throughout the eighteenth and nineteenth centuries.

In the last quarter of the nineteenth century and continuing during the first decades of the twentieth, increasing numbers of Yaqui people moved north into Arizona and other areas under U.S. control to join relatives living here to escape intensifying genocidal efforts of the Porfirio Diaz government in Mexico. Recognizing employment opportunities working for the irrigation companies and the farmers and ranchers who benefited from the expanding irrigation networks in the Salt River Valley, Yaqui families moved into this part of central Arizona beginning in the 1880s.

The Yaqui immigrants secured employment with local agricultural interests, and most significantly with the Salt River Water Users' Association. Beginning as early as 1907 Yaqui laborers made up an important component of the association's irrigation canal construction and maintenance labor force, a role they would continue into the 1950s when machinery began to replace manual labor in the ditches. Bud Simser, a supervisor for the Salt River Valley Water Users Association, told an interviewer that without the labor provided by Yaqui workers during the first half of the twentieth century, the Association would have had to shut down (quoted in Glaser 1996:54). By 1936 Yaqui laborers made up an estimated seven percent of the Arizona agricultural workforce, the largest ethnic group represented after "Mexican" (which almost certainly included some Yaquis) and "non-Mexican white" (Tetreau 1939:302).

Today the Guadalupe Cemetery continues to be the primary location for Guadalupe families to bury their dead. The Dia de los Muertos activities each November bring not only the Yaqui and Mexican-American families of those buried at the cemetery, but other members of the public who come to witness the Matachine dances and other activities. The annual event provides an opportunity for cultural learning for residents of Tempe as well as Guadalupe.

Because of the Guadalupe Cemetery's importance to the history of settlement of the City of Tempe and surrounding areas, because of the cemetery's integrity of historic location, and because of the cemetery's feeling and association as a Traditional Cultural Property of the Guadalupe community, it should be placed on the City of Tempe Historic Property Register.

If I can provide any additional information or materials to help you in your consideration of the Guadalupe Cemetery for listing on the Register, please do not hesitate to contact me at [karl.hoerig@pascuayaqui-nsn.gov](mailto:karl.hoerig@pascuayaqui-nsn.gov) or at (520) 883-5116.

With best regards,

Karl A. Hoerig, Ph.D.  
Pascua Yaqui Tribe THPO

A new form, WAIVER OF RIGHTS AND REMEDIES UNDER A.R.S. §12-1134, is available for submittal on historic district designations processed by the City of Tempe. This form is made available in response to voter adoption of the “Private Property Rights Protection Act.”

The Private Property Rights Protection Act (e.g., A.R.S. 12-1134.I) recognizes that private property owners can enter into agreements with political subdivisions to waive any claim for diminution in value of their property in connection with any action requested by the property owner. This form constitutes that agreement.

City of Tempe historic property designation applies Historic Overlay Zoning to properties that are eligible under the provisions of the Tempe Historic Preservation Ordinance – Chapter 14A of the Tempe City Code. The city now requires owners seeking such designation to provide the waiver form so as to avoid any potential for argument that the application of this zoning overlay to their property would constitute a “diminution in value” of the property as defined by this recent legislation.

**WHEN RECORDED RETURN TO:**

City of Tempe  
Historic Preservation Office  
21 E. 6<sup>th</sup> Street, #208  
Post Office Box 5002  
Tempe, AZ. 85280

**WAIVER OF RIGHTS AND REMEDIES  
UNDER A.R.S. §12-1134**

This Waiver of Rights and Remedies under A.R.S. § 12-1134 (Waiver) is made in favor of the City of Tempe (City) by \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_(Owner/s)

Owner acknowledges that A.R.S. § 12-1134 provides that in some cases a city must pay just compensation to a land owner if the city approves a land use law that reduces the fair market value of the owner's property (Private Property Rights Protection Act).

Owner further acknowledges that the Private Property Rights Protection Act authorizes a private property owner to enter an agreement waiving any claim for diminution in value of the property in connection with any action requested by the property owner.

Owner has submitted Application No. \_\_\_\_\_ to the City requesting that the City approve the following:

- \_\_\_\_\_ GENERAL PLAN AMENDMENT
- \_\_\_\_\_ ZONING MAP AMENDMENT
- \_\_\_\_\_ PAD OVERLAY
- HISTORIC PRESERVATION DESIGNATION/OVERLAY
- \_\_\_\_\_ USE PERMIT
- \_\_\_\_\_ VARIANCE
- \_\_\_\_\_ DEVELOPMENT PLAN REVIEW
- \_\_\_\_\_ SUBDIVISION PLAT/CONDOMINIUM PLAT
- \_\_\_\_\_ OTHER \_\_\_\_\_  
(Identify Action Requested))

for development of the following real property (Property):

Parcel No. : \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
(Legal Description and Address)

By signing below, Owner voluntarily waives any right to claim compensation for diminution in Property value under A.R.S. §12-1134 that may now or in the future exist as a result of the City's approval of the above-referenced Application, including any conditions, stipulations and/or modifications imposed as a condition of approval.

This Waiver shall run with the land and shall be binding upon all present and future owners having any interest in the Property.

This Waiver shall be recorded with the Maricopa County Recorder's Office.

Owner warrants and represents that Owner is the fee title owner of the Property, and that no other person has an ownership interest in the Property.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_

*(Signature of Owner)*

*(Printed Name)*

\_\_\_\_\_

*(Signature of Owner)*

*(Printed Name)*

State of \_\_\_\_\_ )

) ss

County of \_\_\_\_\_ )

SUBSCRIBED AND SWORN to before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, by

\_\_\_\_\_

\_\_\_\_\_.

\_\_\_\_\_  
*(Signature of Notary)*

*(Notary Stamp)*





## Sale of Town Properties: 5603 E. Calle Iglesia & 5604 E. Calle Mexico

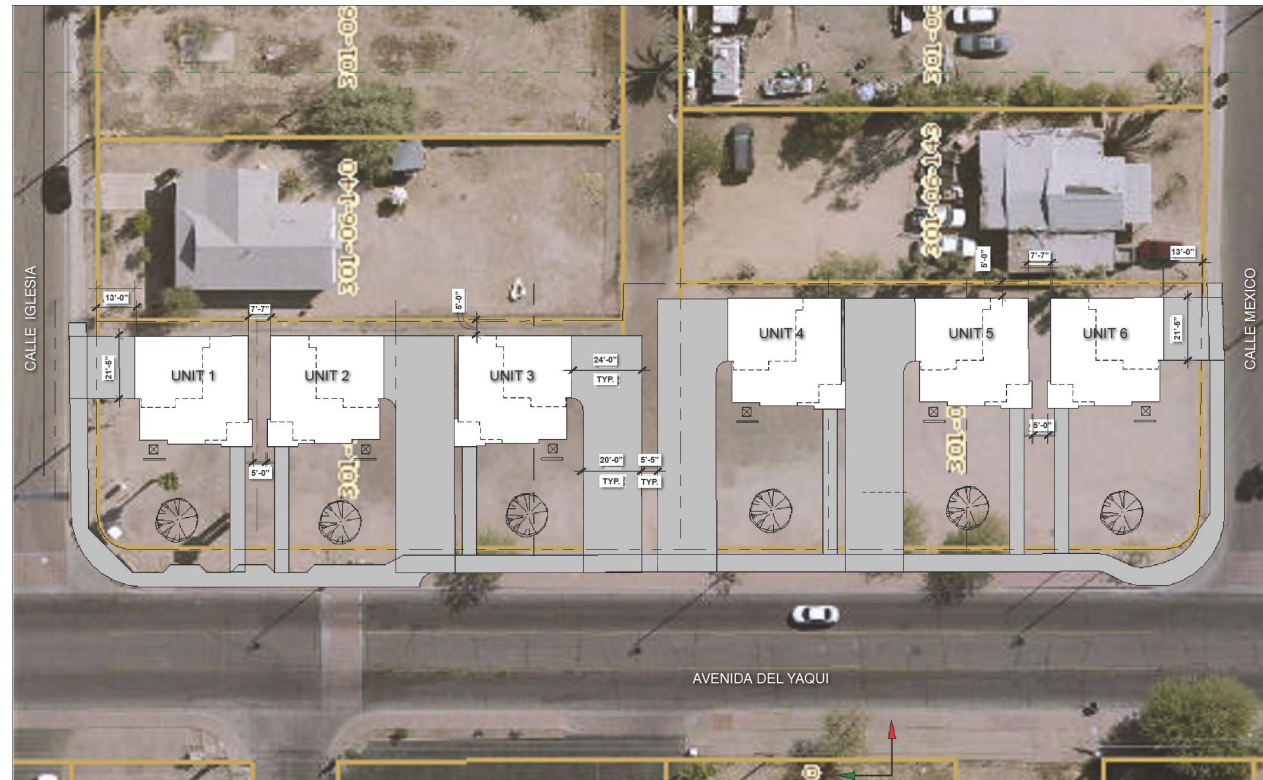
**5603 E. Calle  
Iglesia: 14,636 SF**

**5604 E. Calle  
Mexico: 16,357 SF**





# Sale of Town Properties: 5603 E. Calle Iglesia & 5604 E. Calle Mexico:



Town Council Meeting  
March 10, 2022

SITE PLAN - OPT. 3



**AVENIDA DEL YAQUI**

Guadalupe, Arizona



# Sale of Town Properties: 5603 E. Calle Iglesia & 5604 E. Calle Mexico:

## Resolution R2022.05

Sell:

5603 E. Calle Iglesia

To GCDC, 501(C)(3)

For \$65,000

Requires Building Permits within 2 years.

## Resolution R2022.06

Sell:

5603 E. Calle Iglesia

To GCDC, 501(C)(3)

For \$65,000

Requires Building Permits within 2 years.





## Sale of Town Properties: 5603 E. Calle Iglesia & 5604 E. Calle Mexico

**Recommendation:**

**Approve sale**

- Provides new single-family homes for qualified Guadalupe families.
- Enhances street frontage / curb appeal along Avenida del Yaqui.
- Proper response to the April 2021 Town owned land RFP.



North

**RESOLUTION NO. R2022.05**

**A RESOLUTION OF THE MAYOR AND TOWN COUNCIL OF THE TOWN OF GUADALUPE, ARIZONA, AUTHORIZING THE SALE OF TOWN-OWNED RESIDENTIALLY ZONED PROPERTY TO THE GUADALUPE COMMUNITY DEVELOPMENT CORPORATION, A 501(C)(3) NON-PROFIT ENTITY, FOR THE CONSTRUCTION OF LOW-INCOME HOUSING TO BE BUILT IN THE TOWN OF GUADALUPE LOCATED AT 5603 EAST CALLE IGLESIA.**

**BE IT HEREBY RESOLVED** by the Mayor and Common Council of the Town of Guadalupe, Arizona (hereafter the "Town") that:

**WHEREAS**, there is a great need for low income and very low-income housing in the Town; and

**WHEREAS**, the Guadalupe Community Development Corporation (GCDC) has a long history of building such low-income homes and other projects in the Town; and

**WHEREAS**, the Town does not currently have a Housing Department and previously entered into a Memorandum of Understanding dated June 14, 2018, whereby the Town agreed to provide funding and other aid, when available, to the GCDC for low-income housing; and

**WHEREAS**, the GCDC has offered to buy the Town-owned property located at 5603 East Calle Iglesia, Guadalupe, AZ, APN 301-06-141, as set forth in Exhibit A, providing it could be divided into two to three lots, as set forth in Exhibit A, for the price of \$65,000.

**NOW THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF GUADALUPE, ARIZONA, AS FOLLOWS:**

1. Approves the sale of the property described in Exhibit A for the sum of \$65,000. Said property located at 5603 East Calle Iglesia shall be divided into two to three lots as proposed – for the construction of low-income or very low-income housing in the Town.
2. The Guadalupe Community Development Corporation (GCDC) must obtain a properly approved building permit from the Town for Guadalupe for construction of a minimum of two homes within two years of this adopted resolution. The Town of Guadalupe will expedite plan review. Failure to obtain a properly approved building permit by the end of the two-year period will terminate the sale, without reimbursement to GCDC. The title to the real property will then revert back to the Town of Guadalupe.
3. The Mayor of Guadalupe, or designee, is authorized to sign any and all documents necessary for the furtherance of the sale and construction of said lots.

**PASSED** by the Town Council of the Town Guadalupe, Arizona, this 10<sup>th</sup> day of March, 2022.

\_\_\_\_\_  
Valerie Molina, Mayor

ATTEST:

Approved as to Form:

\_\_\_\_\_  
Jeff Kulaga  
Town Manager/Clerk

\_\_\_\_\_  
David E. Ledyard, Esq.  
FAITH, LEDYARD & FAITH, PLC  
Town Attorneys

**EXHIBIT A**

**5603 EAST CALLE IGLESIA**

LOT 6 OF BLOCK 10, EAST GUADALUPE, CITY OF GUADALUPE, MARICOPA COUNTY, ARIZONA, AND AS SHOWN ON THE SUBDIVISION PLAT OF EAST GUADALUPE AS FILED IN THE RECORDS OF THE MARICOPA COUNTY RECORDER ON MAY 7, 1979, IN BOOK 211, PAGE 18, MARICOPA COUNTY RECORDER PARCEL NO. 301-06-141.

January 28, 2022 Updated

Sent to procurement@guadalupe az.org  
Attention: Jeff Kulaga, Town Manager/Clerk

**RE: To Purchase Parcels A and B for Affordable Housing  
Guadalupe, Arizona 85283 offered by Request for Proposal (RFP)  
issued April 16, 2021**

Please consider this letter to be our non-binding Letter of Intent to purchase two properties offered in the RFP dated April 16, 2021. Summarizing below the basic terms and conditions for Guadalupe Community Development Corporation (GCDC) to enter into a contract with the Town of Guadalupe to purchase two residential sites owned by the Town. This letter will provide you with an outline of the basic terms and conditions upon which Guadalupe community Development Corporation (Buyer) would be willing to enter into the contract to purchase the above-referenced property ("Property").

**SUBJECT PROPERTY:** (+/- 30,100 square feet), Parcels A (14,636 sq. ft.) and B (16357 sq. ft.) combined. actual square footage to be confirmed by Survey of Lot Description, Parcel Numbers 301-06-141 and 301-06-142. The addresses shown in the RFP are 5603 E. Calle Iglesia (Parcel A) and 5604 E. Calle Mexico (Parcel B). Approval by the town to split each parcel into two-three lots for the purpose of building two story affordable single-family homes to be purchased by low income community members. GCDC is requesting a minimum of 25 feet front setbacks and allowance to utilize the home access from Avenida del Yaqui or a driveway behind the homes to be constructed for access at both Calle Iglesia and Mexico.

**OWNER:** Town of Guadalupe, Seller

**PURCHASE CONTRACT:** **The offered price is expected to be no more than \$65,000 for the 5603 E. Calle Iglesia and \$65,000 for 5604 E. Calle Mexico for a total of the two lots \$130,000 for the above-referenced property to be purchased. It is understood that the Buyer is obtaining Funds to build affordable homes.**

## Page 2

**PURCHASE PERIOD**

Is expected to take about 45 days from the date of the Town's approval to allow GCDC to purchase the property. An environmental assessment must be completed and approved by Maricopa County. GCDC will pay for the Environmental Assessment.

Seller warrants that there are no known hazards and that it has not received any notice from government agencies regarding violations of including, but not limited to, zoning, building and environmental, etc. The sites must be approved by Maricopa County with an Environmental Assessment completed by the buyer. Approval by the town to split each parcel into two-three lots for the purpose of building two story affordable single-family homes to be purchased by low income community members.

**Contract to Purchase:**

**GCDC** is prepared to sign a purchase agreement subject to approval by the GCDC Board of Directors and upon approval by the Town of Guadalupe to sell the site.

**Guadalupe Community Development Corporation: Activity Narrative**

The Guadalupe Community Development Corporation has provided service and support to the Town of Guadalupe for over 26 years. The GCDC has been directly involved in assisting individuals and families in Guadalupe by providing acquisition of, and development of land for construction of family owned affordable housing. The GCDC has performed in the capacity of co-developer for three small subdivisions and several scattered site homes in Guadalupe and for two multi-family LIHTC rental developments. The GCDC is currently designated a Certified CHDO by the Arizona Department of Housing.

The GCDC co-developed and is the general partner in the Itom A'e Apartments, **a sixty-five unit senior LIHTC development**. The Guadalupe Affordable Housing Corporation (wholly owned by the GCDC) is the **general partner for both the Nuestra Senora and Itom A'e LIHTC limited partnerships**. **GCDC has developed 82 single family homes in Guadalupe since 1994.**

In 2020 the GCDC used a licensed General Residential Contactor to build three new single-family homes. Three families in the community received loans to buy these three homes.

The Guadalupe CDC proposes to use HOME funds, if awarded, to assist with the construction of two to three two story single-family homes on each parcel. **Construction funding may also**



include Rural Community Assistance Construction (RCAC) loan funds used for acquisition and construction, as well as HOME funds, SHOP funds and GCDC funds. While current housing

Page 3

market conditions pose a challenge, we are confident that with sufficient gap financing these homes can be constructed and occupied by October of 2023.

Loan Closing costs assistance model used by GCDC allows the applicants who are members of the Pascua Yaqui Tribe to cover or reduce the out of pocket costs for loan closing. **Also, families may obtain Forgivable loans to reduce their mortgage based on the household income. The forgivable loans may range from \$30,000 to \$50,000 depending the house income. Development and construction of affordable housing in Guadalupe, Arizona is an ongoing mission of the organization.**

This letter/proposal is intended solely as a preliminary expression of general intentions and is be used for discussion purposes only. The parties intend that neither shall have any contractual obligations to the other with respect to the matters referred herein unless and until a definitive agreement has been fully executed and delivered by the parties. The parties agree that this letter/proposal is not intended to create any agreement or obligation by either party to negotiate a definitive contract to purchase the site and imposes no duty whatsoever on either party to continue negotiations, including without limitation any obligation to negotiate in good faith or in any way other than at arm's length. Prior to delivery of a definitive contract, and without any liability to the other party, either party may cancel the agreement due to not getting Environmental Clearance or not being allowed to split the site into lots.

## HOUSING CONDITIONS

In 2021, the 2020 census information continues to reflect the housing conditions in Guadalupe. The Town of Guadalupe suffers from extreme poor economic conditions and is ranked as one of the very poorest towns in Maricopa County and the State of Arizona. Over fifty-five percent (55%) of residents in Guadalupe are low income by U.S. Census standards. Along with Guadalupe's economical challenges come the social issues associated with low-income communities. Families are faced with living in deteriorating neighborhoods and very often in substandard conditions.

**Overcrowding:** The 2020 Census data indicates Guadalupe has over 1,407 total household units of these 1297 are occupied. Due to the limited availability of housing (new or existing), there are very few rental properties, and although land is limited, there are lots suitable for development.

Guadalupe has a serious overcrowding problem and a large need for safe and affordable housing. According to Census data, the average family in Guadalupe has 4.76 persons while the average housing unit has 4.14 rooms. The count of rooms includes living rooms, dining rooms, kitchens,

and enclosed porches that can be used year-around. Due to these overcrowded conditions, multiple generations and relatives share the same home. The Maricopa Association of

Page 4

Governments website states, 49% of Guadalupe residents spend 30% or more of their income on rent, and 23% spend 50% or more of their income on rent, meaning that 49% of residents are rent burdened and 23% are severely rent burdened.

***Population Density and Vacancy:*** The inventory of unoccupied single-family homes is 0.4 percent compared to 3.8 percent in Maricopa County and 3.6 percent in the State of Arizona. The average family size in Guadalupe is 4.76 people, which exceeds the State with 2.62 and the County with 2.59 and many of the families with whom we will be working with consist of one or two elderly parents, grown children, and grandchildren.

One of Guadalupe's major challenges is its lack of areas for expansion. The GCDC has been instrumental in working within the town to purchase additional land located throughout the Town. With Rural Community Assistance Corporation and SHOP funding, the GCDC continues to acquire property and develop lots for additional residential development throughout the community. The use of these funds helps reduce the purchase price of housing for low and very low-income families in an area where housing costs are high.

## **NEED**

Continued funding is needed to assist with both acquisition, infrastructure development and new construction of affordable homes. Buildable lots are not often placed on the market. Gap financing is critical in bringing the cost of housing down so that low and very low-income families can qualify for and afford new home ownership. With an estimated average of \$38,125 being the median household income, affordable housing is a dire need. Infrastructure is also at times a difficult proposition. In addition to usual development costs, even "improved lots" are not provided with sewer and water hook-ups as the Town of Guadalupe developed sewer and water in its early years.

Recent increases in development and impact fees make development and construction activities more difficult. Because the City of Tempe Arizona provides sewer and water service for Guadalupe, families are required to provide between \$3,000 and \$8,000 dollars per lot depending on availability of sewer and water connections to the site to access these services (Tempe development and impact fees) this is in addition to the \$3,500 impact fee the Town requires for permit fees. Most lots also require additional funds to connect utilities. In today's economy, these fees become even more significant because appraised values may at times be exceeded by the cost to construct. For this reason, supplemental dollars such as other funding becomes even more critical in helping to assure that there is a supply of homes that are affordable by supplementing construction costs.

Based on this information, review and analysis of data from a variety of sources including latest Census Data, it is concluded that there is sufficient need and demand for additional affordable single-family homes in Guadalupe Arizona for qualified first-time homebuyers

Page 5

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Steve Langstaff  
Executive Director

2/21/22  
Date

Acknowledged By: \_\_\_\_\_ on \_\_\_\_\_  
Town of Guadalupe Date

**Submitting Firm Guadalupe Community Development Corporation**

**Primary Contact Steve Langstaff**

**Contact Phone (480) 505-5378 office or (480) 231-5040 cell**

**Contact Email stevegcdc@gmail.com**

May 28, 2021

Sent to procurement@guadalupe az.org  
Attention: Jeff Kulaga, Town Manager/Clerk

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**OWNER:** Town of Guadalupe, Seller

**PURCHASE CONTRACT:** The offered price is expected to be no more than \$120,000 for the above-referenced property to be purchased. It is understood that the Buyer is obtaining Funds to build affordable homes.

Page 2

**PURCHASE PERIOD**

Is expected to take about 45 days from the date of the agreement by the town to allow GCDC to purchase the property.

Seller warrants that there are no known hazards and that it has not received any notice from government agencies regarding violations of including, but not limited to, zoning, building and environmental, etc. The sites must be approved by Maricopa County with an Environmental Assessment completed by the buyer. Approval by the town to split each parcel into two-three lots for the purpose of building two story affordable single-family homes to be purchased by low income community members.

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**Page 3**

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*Page 4*

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Steve Langstaff  
Executive Director

5/28/2021  
Date

Acknowledged By: \_\_\_\_\_ on \_\_\_\_\_  
Town of Guadalupe Date

Submitting Firm Guadalupe Community Development Corporation

Primary Contact Steve Langstaff

Contact Phone (480) 248-9656 office or (480) 231-5040 cell

Contact Email Stevecdc@phxcoxmail.com





SITE PLAN - OPT. 3



# AVENIDA DEL YAQUI

Guadalupe, Arizona

**RESOLUTION NO. R2022.06**

**A RESOLUTION OF THE MAYOR AND TOWN COUNCIL OF THE TOWN OF GUADALUPE, ARIZONA, AUTHORIZING THE SALE OF TOWN-OWNED RESIDENTIALLY ZONED PROPERTY TO THE GUADALUPE COMMUNITY DEVELOPMENT CORPORATION, A 501(C)(3) NON-PROFIT ENTITY, FOR THE CONSTRUCTION OF LOW-INCOME HOUSING TO BE BUILT IN THE TOWN OF GUADALUPE LOCATED AT 5604 EAST CALLE MEXICO.**

**BE IT HEREBY RESOLVED by the Mayor and Common Council of the Town of Guadalupe, Arizona (hereafter the "Town") that:**

**WHEREAS**, there is a great need for low income and very low-income housing in the Town; and

**WHEREAS**, the Guadalupe Community Development Corporation (GCDC) has a long history of building such low-income homes and other projects in the Town; and

**WHEREAS**, the Town does not currently have a Housing Department and previously entered into a Memorandum of Understanding dated June 14, 2018, whereby the Town agreed to provide funding and other aid, when available, to the GCDC for low-income housing; and

**WHEREAS**, the GCDC has offered to buy the Town-owned property located at 5604 East Calle Mexico, Guadalupe, AZ, APN 301-06-142, as set forth in Exhibit A, providing it could be divided into two to three lots, as set forth in Exhibit A, for the price of \$65,000.

**NOW THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF GUADALUPE, ARIZONA, AS FOLLOWS:**

1. Approves the sale of the property described in Exhibit A for the sum of \$65,000. Said property located at 5604 East Calle Mexico shall be divided into two to three lots as proposed – for the construction of low-income or very low-income housing in the Town.
2. The Guadalupe Community Development Corporation (GCDC) must obtain a properly approved building permit from the Town for Guadalupe for construction of a minimum of two homes within two years of this adopted resolution. The Town of Guadalupe will expedite plan review. Failure to obtain a properly approved building permit by the end of the two-year period will terminate the sale, without reimbursement to GCDC. The title to the real property will then revert back to the Town of Guadalupe.
3. The Mayor of Guadalupe, or designee, is authorized to sign any and all documents necessary for the furtherance of the sale and construction of said lots.

**PASSED by the Town Council of the Town Guadalupe, Arizona, this 10<sup>th</sup> day of March, 2022.**

\_\_\_\_\_  
Valerie Molina, Mayor

ATTEST:

Approved as to Form:

\_\_\_\_\_  
Jeff Kulaga  
Town Manager/Clerk

\_\_\_\_\_  
David E. Ledyard, Esq.  
FAITH, LEDYARD & FAITH, PLC  
Town Attorneys

**EXHIBIT A**

**5604 EAST CALLE MEXICO**

LOT 7 OF BLOCK 10, EAST GUADALUPE, CITY OF GUADALUPE, MARICOPA COUNTY, ARIZONA, AND AS SHOWN ON THE SUBDIVISION PLAT OF EAST GUADALUPE AS FILED IN THE RECORDS OF THE MARICOPA COUNTY RECORDER ON MAY 7, 1979, IN BOOK 211, PAGE 18, MARICOPA COUNTY RECORDER PARCEL NO. 301-06-142.

January 28, 2022 Updated

Sent to procurement@guadalupe az.org  
Attention: Jeff Kulaga, Town Manager/Clerk

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**SUBJECT PROPERTY:** (+/- 30,100 square feet), Parcels A (14,636 sq. ft.) and B (16357 sq. ft.) combined. actual square footage to be confirmed by Survey of Lot Description, Parcel Numbers 301-06-141 and 301-06-142. The addresses shown in the RFP are 5603 E. Calle Iglesia (Parcel A) and 5604 E. Calle Mexico (Parcel B). Approval by the town to split each parcel into two-three lots for the purpose of building two story affordable single-family homes to be purchased by low income community members. GCDC is requesting a minimum of 25 feet front setbacks and allowance to utilize the home access from Avenida del Yaqui or a driveway behind the homes to be constructed for access at both Calle Iglesia and Mexico.

**OWNER:** Town of Guadalupe, Seller

**PURCHASE CONTRACT:** **The offered price is expected to be no more than \$65,000 for the 5603 E. Calle Iglesia and \$65,000 for 5604 E. Calle Mexico for a total of the two lots \$130,000 for the above-referenced property to be purchased. It is understood that the Buyer is obtaining Funds to build affordable homes.**

## Page 2

**PURCHASE PERIOD**

Is expected to take about 45 days from the date of the Town's approval to allow GCDC to purchase the property. An environmental assessment must be completed and approved by Maricopa County. GCDC will pay for the Environmental Assessment.

Seller warrants that there are no known hazards and that it has not received any notice from government agencies regarding violations of including, but not limited to, zoning, building and environmental, etc. The sites must be approved by Maricopa County with an Environmental Assessment completed by the buyer. Approval by the town to split each parcel into two-three lots for the purpose of building two story affordable single-family homes to be purchased by low income community members.

**Contract to Purchase:**

**GCDC** is prepared to sign a purchase agreement subject to approval by the GCDC Board of Directors and upon approval by the Town of Guadalupe to sell the site.

**Guadalupe Community Development Corporation: Activity Narrative**

The Guadalupe Community Development Corporation has provided service and support to the Town of Guadalupe for over 26 years. The GCDC has been directly involved in assisting individuals and families in Guadalupe by providing acquisition of, and development of land for construction of family owned affordable housing. The GCDC has performed in the capacity of co-developer for three small subdivisions and several scattered site homes in Guadalupe and for two multi-family LIHTC rental developments. The GCDC is currently designated a Certified CHDO by the Arizona Department of Housing.

The GCDC co-developed and is the general partner in the Itom A'e Apartments, **a sixty-five unit senior LIHTC development**. The Guadalupe Affordable Housing Corporation (wholly owned by the GCDC) is the **general partner for both the Nuestra Senora and Itom A'e LIHTC limited partnerships**. **GCDC has developed 82 single family homes in Guadalupe since 1994.**

In 2020 the GCDC used a licensed General Residential Contactor to build three new single-family homes. Three families in the community received loans to buy these three homes.

The Guadalupe CDC proposes to use HOME funds, if awarded, to assist with the construction of two to three two story single-family homes on each parcel. **Construction funding may also**

include Rural Community Assistance Construction (RCAC) loan funds used for acquisition and construction, as well as HOME funds, SHOP funds and GCDC funds. While current housing

Page 3

market conditions pose a challenge, we are confident that with sufficient gap financing these homes can be constructed and occupied by October of 2023.

Loan Closing costs assistance model used by GCDC allows the applicants who are members of the Pascua Yaqui Tribe to cover or reduce the out of pocket costs for loan closing. **Also, families may obtain Forgivable loans to reduce their mortgage based on the household income. The forgivable loans may range from \$30,000 to \$50,000 depending the house income. Development and construction of affordable housing in Guadalupe, Arizona is an ongoing mission of the organization.**

This letter/proposal is intended solely as a preliminary expression of general intentions and is be used for discussion purposes only. The parties intend that neither shall have any contractual obligations to the other with respect to the matters referred herein unless and until a definitive agreement has been fully executed and delivered by the parties. The parties agree that this letter/proposal is not intended to create any agreement or obligation by either party to negotiate a definitive contract to purchase the site and imposes no duty whatsoever on either party to continue negotiations, including without limitation any obligation to negotiate in good faith or in any way other than at arm's length. Prior to delivery of a definitive contract, and without any liability to the other party, either party may cancel the agreement due to not getting Environmental Clearance or not being allowed to split the site into lots.

## **HOUSING CONDITIONS**

In 2021, the 2020 census information continues to reflect the housing conditions in Guadalupe. The Town of Guadalupe suffers from extreme poor economic conditions and is ranked as one of the very poorest towns in Maricopa County and the State of Arizona. Over fifty-five percent (55%) of residents in Guadalupe are low income by U.S. Census standards. Along with Guadalupe's economical challenges come the social issues associated with low-income communities. Families are faced with living in deteriorating neighborhoods and very often in substandard conditions.

**Overcrowding:** The 2020 Census data indicates Guadalupe has over 1,407 total household units of these 1297 are occupied. Due to the limited availability of housing (new or existing), there are very few rental properties, and although land is limited, there are lots suitable for development.

Guadalupe has a serious overcrowding problem and a large need for safe and affordable housing. According to Census data, the average family in Guadalupe has 4.76 persons while the average housing unit has 4.14 rooms. The count of rooms includes living rooms, dining rooms, kitchens,

and enclosed porches that can be used year-around. Due to these overcrowded conditions, multiple generations and relatives share the same home. The Maricopa Association of

Page 4

Governments website states, 49% of Guadalupe residents spend 30% or more of their income on rent, and 23% spend 50% or more of their income on rent, meaning that 49% of residents are rent burdened and 23% are severely rent burdened.

***Population Density and Vacancy:*** The inventory of unoccupied single-family homes is 0.4 percent compared to 3.8 percent in Maricopa County and 3.6 percent in the State of Arizona. The average family size in Guadalupe is 4.76 people, which exceeds the State with 2.62 and the County with 2.59 and many of the families with whom we will be working with consist of one or two elderly parents, grown children, and grandchildren.

One of Guadalupe's major challenges is its lack of areas for expansion. The GCDC has been instrumental in working within the town to purchase additional land located throughout the Town. With Rural Community Assistance Corporation and SHOP funding, the GCDC continues to acquire property and develop lots for additional residential development throughout the community. The use of these funds helps reduce the purchase price of housing for low and very low-income families in an area where housing costs are high.

## **NEED**

Continued funding is needed to assist with both acquisition, infrastructure development and new construction of affordable homes. Buildable lots are not often placed on the market. Gap financing is critical in bringing the cost of housing down so that low and very low-income families can qualify for and afford new home ownership. With an estimated average of \$38,125 being the median household income, affordable housing is a dire need. Infrastructure is also at times a difficult proposition. In addition to usual development costs, even "improved lots" are not provided with sewer and water hook-ups as the Town of Guadalupe developed sewer and water in its early years.

Recent increases in development and impact fees make development and construction activities more difficult. Because the City of Tempe Arizona provides sewer and water service for Guadalupe, families are required to provide between \$3,000 and \$8,000 dollars per lot depending on availability of sewer and water connections to the site to access these services (Tempe development and impact fees) this is in addition to the \$3,500 impact fee the Town requires for permit fees. Most lots also require additional funds to connect utilities. In today's economy, these fees become even more significant because appraised values may at times be exceeded by the cost to construct. For this reason, supplemental dollars such as other funding becomes even more critical in helping to assure that there is a supply of homes that are affordable by supplementing construction costs.

Based on this information, review and analysis of data from a variety of sources including latest Census Data, it is concluded that there is sufficient need and demand for additional affordable single-family homes in Guadalupe Arizona for qualified first-time homebuyers

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Steve Langstaff  
Executive Director

2/21/22  
Date

Acknowledged By: \_\_\_\_\_ on \_\_\_\_\_  
Town of Guadalupe Date

**Submitting Firm Guadalupe Community Development Corporation**

**Primary Contact Steve Langstaff**

**Contact Phone (480) 505-5378 office or (480) 231-5040 cell**

**Contact Email stevegcdc@gmail.com**



May 28, 2021

Sent to procurement@guadalupe az.org  
Attention: Jeff Kulaga, Town Manager/Clerk

**RE: To Purchase Parcels A and B for Affordable Housing  
Guadalupe, Arizona 85283 offered by Request for Proposal (RFP)  
issued April 16, 2021**

Please consider this letter to be our non-binding Letter of Intent to purchase two properties offered in the RFP dated April 16, 2021. Summarizing below the basic terms and conditions for Guadalupe Community Development Corporation (GCDC) to enter into a contract with the Town of Guadalupe to purchase two residential sites owned by the Town. This letter will provide you with an outline of the basic terms and conditions upon which Guadalupe community Development Corporation (Buyer) would be willing to enter into the contract to purchase the above-referenced property ("Property").

**SUBJECT PROPERTY:** (+/- 30,100 square feet), Parcels A and B combined. actual square footage to be confirmed by Survey of Lot Description, Parcel Numbers 301-06-141 and 301-06-142. The addresses shown in the RFP are 5603 E. Calle Iglesia (Parcel A) and 5604 E. Calle Mexico (Parcel B). Approval by the town to split each parcel into two-three lots for the purpose of building two story affordable single-family homes to be purchased by low income community members. GCDC is requesting a minimum of 25 feet front setbacks and allowance to utilize the home access from Avenida del Yaqui or a driveway behind the homes to be constructed for access at both Calle Iglesia and Mexico.

**OWNER:** Town of Guadalupe, Seller

**PURCHASE CONTRACT:** The offered price is expected to be no more than \$120,000 for the above-referenced property to be purchased. It is understood that the Buyer is obtaining Funds to build affordable homes.

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**PURCHASE PERIOD**

Is expected to take about 45 days from the date of the agreement by the town to allow GCDC to purchase the property.

Seller warrants that there are no known hazards and that it has not received any notice from government agencies regarding violations of including, but not limited to, zoning, building and environmental, etc. The sites must be approved by Maricopa County with an Environmental Assessment completed by the buyer. Approval by the town to split each parcel into two-three lots for the purpose of building two story affordable single-family homes to be purchased by low income community members.

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**Page 3**

Loan Closing costs assistance model used by GCDC allows the applicants who are members of the Pascua Yaqui Tribe to cover or reduce the out of pocket costs for loan closing. Also, families may obtain Forgivable loans to reduce their mortgage based on the household income. The forgivable loans may range from \$30,000 to \$50,000 depending the house income. Development and construction of affordable housing in Guadalupe, Arizona is an ongoing mission of the organization.

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Steve Langstaff  
Executive Director

5/28/2021  
Date

Acknowledged By: \_\_\_\_\_ on \_\_\_\_\_  
Town of Guadalupe Date

Submitting Firm Guadalupe Community Development Corporation

Primary Contact Steve Langstaff

Contact Phone (480) 248-9656 office or (480) 231-5040 cell

Contact Email Stevecdc@phxcoxmail.com



SITE PLAN - OPT. 3



# AVENIDA DEL YAQUI

Guadalupe, Arizona



# G7. Consideration of reopening the Mercado for all events

- **Last discussed on January 13, 2022**
  - Town Council direction: suspend and cancel events through March 2022.
  - Revisit at the first meeting in April.
  - Due to omicron variant spike in COVID19 cases locally and nationally.
- **Recent COVID19 considerations:**
  - Local and national COVID positive cases have decreased dramatically.
  - Regionally events, festivals, gatherings are occurring .
- **Community and logistic considerations:**
  - Event approval, planning, lead time, arrangements.
  - Opportunity for gatherings, particularly family.
- **Strike balance:**
  - Watchful of Guadalupe cases, monitor COVID19 trends,
  - Offer vaccines and boosters,
  - Provide opportunity for events and gatherings,
  - Continue to partner with County, Pascua Yaqui Tribe, ASU and Native Health.



# From January 13, 2022 Meeting: COVID19 Town Facility Closures & Permitting Events Council Direction:

**Motion by Councilmember Bravo for staff to discontinue accepting reservations for events at the Mercado and to not honor the grandfathered events that are already scheduled at the Mercado.**

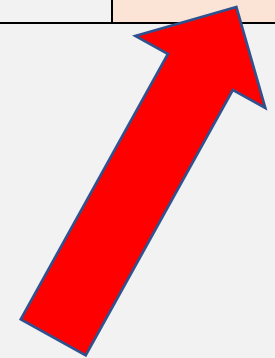
**Vice Mayor Vital seconded the motion. Motion passed unanimously on a voice vote 4-1-1 with Councilmember Osuna voting no and Councilmember Cota Soto abstaining.**



# G7. Consideration of reopening the Mercado for all events

Date:	May 13, 2020	January 14, 2021	April 8, 2021	May 13, 2021	Sept. 9, 2021	January 13, 2022	March 10, 2022
Direction*:							Recommendation:
<b>Mercado public and private events</b>	Permit events both public and private only scheduled after August 1	Prohibit public and private events until July 22, 2021 Evaluate July 22, 2021	Prohibit public and private events until May 13, 2021  Evaluate May 13, 2021	Permit events beginning May 17, 2021	Permit public and private events expecting less than 200 people.	Suspend events, discontinue accepting reservations, cancel events through March. Evaluate April 7, 2022	<b>Reinstate permitting public and private events at Mercado, Biehn &amp; Stottlemyre Parks, beginning May 1, 2022.</b>

\*subject to change based on COVID19 conditions



# G7. Consideration of reopening the Mercado for all events

Thank you,

Questions,

&

Direction





**COVID-19 Action Steps:**

**Presented September 9, 2021 Town Council Meeting**

- **Combat COVID-19 with Guadalupe Response Team Partnership.**
- **Reasonable measures, at scale.**
- **Protect the public health of the Guadalupe community and slow the spread of COVID-19.**
- **Return to normal activities.**

Impacts to consider:	May 13, 2020 Recommendations:	January 14, 2021 Recommendations: (subject to change based on COVID19 conditions)	April 8, 2021 Recommendations: (subject to change based on COVID19 conditions)	May 13, 2021 Recommendations: (subject to change based on COVID19 conditions)	Sept. 9, 2021 Recommendations: (subject to change based on COVID19 conditions)
<b>Town Hall Operations</b>					
<b>Town hall – lobby / business</b>	Open: <ul style="list-style-type: none"> <li>• Tuesdays: 9-noon</li> <li>• Wednesdays: 2-5</li> <li>• By appointment</li> </ul>	Open: <ul style="list-style-type: none"> <li>• Tuesdays: 9-noon</li> <li>• Wednesdays: 2-5</li> <li>• By appointment</li> </ul> Evaluate July 22, 2021	Evaluate May 13, 2021	Reopen Monday, June 7  8am – 5 pm M-F	<b>Remain open – no changes</b>
<b>Town hall – restrooms/ phone/ water fountain</b>	Closed / out of service	<ul style="list-style-type: none"> <li>• Closed / out of service</li> </ul> Evaluate July 22, 2021	Evaluate May 13, 2021	Open restrooms / fountain. NO phone	<b>Remain open – no changes</b>
<b>Town hall – personal safety</b>	Request use of face mask	Required use of face mask / covering Evaluate July 22, 2021	Evaluate July 22, 2021	Require use of face masks	<b>Remain open – no changes</b>

Impacts to consider:	May 13, 2020 Recommendations:	January 14, 2021 Recommendations: (subject to change based on COVID19 conditions)	April 8, 2021 Recommendations: (subject to change based on COVID19 conditions)	May 13, 2021 Recommendations: (subject to change based on COVID19 conditions)	Sept. 9, 2021 Recommendations: (subject to change based on COVID19 conditions)
<b>Town Department Operations</b>					
<b>CAP - food distribution:</b>	<ul style="list-style-type: none"> <li>Restructured food distribution</li> <li>CAP beginning Monday, March 23 food distribution only on Tuesday's at 7:30 AM.</li> <li>Daily food distributions and drop in food distribution discontinued until further notice.</li> <li>Rental &amp; utility assistance appointment only</li> <li>General assistance by appointment only</li> </ul>	<ul style="list-style-type: none"> <li>Same as May 13, 2020</li> </ul> <p>Evaluate July 22, 2021</p>	<p>Evaluate May 13, 2021</p>	<p>Reopen CAP offices Return to food distribution to new and improved CAP area.</p> <p>Monday, June 7, 2021</p>	<p><b>Remain open – no changes</b></p>
<b>Senior Center</b>	<p>Extend closure to July 6 while providing current services.</p>	<p>Extend closure to July 22, 2021 while providing current services:</p>	<p>Evaluate July 22, 2021</p>	<p>Evaluate reopening. Site Council to review</p>	<p><b>Remain closed – no changes</b></p>



<p><b>Administration</b></p>	<ul style="list-style-type: none"> <li>Increased hygiene practices while providing public service</li> <li>Request masks and distance</li> <li>Essential staff – watchful protocols</li> <li>Communicating with League of Cities and Towns</li> <li>Communicating with area cities and towns</li> <li>Communicating with ADOT, MAG</li> <li>Preparing proposed budget</li> <li>Maintaining on-going public service as time and conditions allow.</li> </ul>	<ul style="list-style-type: none"> <li>Same as May 13, 2020</li> <li>Monitor vaccine distribution</li> <li>Continue COVID19 Response Team Partnership</li> <li>Complete implementation of Cares ACT funded programs, projects and services.</li> </ul> <p>Evaluate July 22, 2021</p>	<ul style="list-style-type: none"> <li>Wear Masks</li> <li>Same as May 13, 2020</li> <li>Monitor vaccine distribution.</li> <li>Monitor COVID19 Town positive cases and rates.</li> <li>Continue COVID19 Response Team Partnership</li> <li>Budget FY22 &amp; FY 23 Cares Act funds of \$791K per year through budget process.</li> </ul> <p>Evaluate July 22, 2021</p>	<ul style="list-style-type: none"> <li>Wear masks</li> <li>Increased hygiene practices</li> <li>Promotoras continue</li> <li>Monitor vaccine distribution.</li> <li>Monitor COVID19 Town positive cases and rates.</li> <li>Continue COVID19 Response Team Partnership</li> <li>Budget FY22 &amp; FY 23 Cares Act funds of \$791K per year - budget process.</li> <li>Serve Guadalupe community</li> </ul>	<p><b>No changes</b></p> <p><b>Initiate and complete COVID 19 Recovery Fund programs, services, and projects</b></p>
<p><b>Library</b></p>	<p>CLOSED until further notice w/ curbside service</p>	<p>Curbside service available / Library closed</p>	<p>Curbside service available / Library closed</p>	<p>Curbside service available / Limited Library access</p>	<p><b>No changes</b></p>
<p><b>Headstart</b></p>	<p>CLOSED until further notice</p>	<p>Same as May 13, 2020</p>	<p>Same as May 13, 2020</p>	<p>Same as May 13, 2020</p>	<p><b>Open for services</b></p>
<p><b>DES</b></p>	<p>CLOSED until further notice</p>	<p>Same as May 13, 2020</p>	<p>Same as May 13, 2020</p>	<p>Same as May 13, 2020</p>	<p><b>Same as May 13, 2020</b></p>



<b>Senior Center</b>	Extend closure to July 6 while providing current services. <ul style="list-style-type: none"> <li>Lunches still served: carry out and home delivery</li> <li>Assist with CAP needs</li> <li>Minor repairs and cleaning continues</li> </ul>	Extend closure to July 22, 2021 while providing current services: <ul style="list-style-type: none"> <li>Lunches still served: carry out and home delivery.</li> <li>Assist with CAP needs</li> </ul> Evaluate July 22, 2021	Evaluate July 22, 2021	Evaluate reopening. Site Council to review  Limited programming  July 5, 2021  Complete Walk-in Cooler replacement	<b>Remain closed – no changes</b>  <b>Waiting on walk in freezer installation</b>
<b>Fire</b>	Monitor and acquiring supplies / Firefighters health & risk	<ul style="list-style-type: none"> <li>Same as May 13, 2020</li> <li>Monitor vaccine distribution.</li> </ul> Evaluate July 22, 2021	Evaluate July 22, 2021	Continue current levels of service.  Restrict Fire Station access.	<b>Remain open – no changes</b>
	<b>May 13, 2020 Recommendations:</b>	<b>January 14, 2021 Recommendations: (subject to change based on COVID19 conditions)</b>	<b>April 8, 2021 Recommendations: (subject to change based on COVID19 conditions)</b>	<b>May 13, 2021 Recommendations: (subject to change based on COVID19 conditions)</b>	<b>Sept. 9, 2021 Recommendations: (subject to change based on COVID19 conditions)</b>
<b>Town Department Operations</b>					
<b>MCSO</b>	Follow MCSO HR direction / Deputy health & risk	<ul style="list-style-type: none"> <li>Same as May 13, 2020</li> </ul>	Evaluate July 22, 2021	Follow MCSO HR direction / Deputy health & risk	<b>No changes</b>
<b>Public works</b>	Continue operations – watchful protocols	<ul style="list-style-type: none"> <li>Same as May 13, 2020</li> <li>Socially distance &amp; wear masks</li> </ul> Evaluate July 22, 2021	Evaluate July 22, 2021	Continue operations – watchful protocols Wear masks Socially distance	<b>No changes</b>
<b>Cemetery</b>	Remains Open: 7 AM – 4 PM; 7 days a week	<ul style="list-style-type: none"> <li>Same as May 13, 2020</li> </ul>	Same as May 13, 2020	Remains Open: 7 AM – 4 PM; 7 days a week	<b>No changes</b>
<b>Saturday, Maint. Yard Bulk Trash</b>	Remains Open: 7 AM – Noon (or when	<ul style="list-style-type: none"> <li>Same as May 13, 2020</li> </ul>	Same as May 13, 2020	Remains Open: 7 AM – Noon (or when	<b>No changes</b>



	May 13, 2020 Recommendations:	January 14, 2021 Recommendations: (subject to change based on COVID19 conditions)	April 8, 2021 Recommendations: (subject to change based on COVID19 conditions)	May 13, 2021 Recommendations: (subject to change based on COVID19 conditions)	Sept. 9, 2021 Recommendations: (subject to change based on COVID19 conditions)
<b>Events</b>					
<b>Dia de Guadalupe: February 6<sup>th</sup></b>	N/A	Cancel	Cancelled	Cancelled	Cancelled
<b>Town 4<sup>th</sup> of July Event: Saturday, July 3<sup>rd</sup></b>	Cancelled	Evaluate January 28, 2021	Cancelled	Cancelled	Cancelled
<b>Avenida de Arte: September 17<sup>th</sup> &amp; October 15<sup>th</sup></b>	Not considered	Evaluate July 22, 2021	Evaluate July 22, 2021	Plan for at least one event	<b>Cancel</b>
<b>Dia de los Muertos: November 1<sup>st</sup> &amp; 2<sup>nd</sup></b>	Not considered	Evaluate July 22, 2021	Evaluate July 22, 2021	Plan for event	<b>Plan for event</b>
<b>Parade and Tree Lighting: November 26<sup>th</sup></b>	Not considered	Evaluate July 22, 2021	Evaluate July 22, 2021	Plan for events (construction)	<b>Plan for parade (construction) No Mercado event</b>
<b>Navidad en Guadalupe: December 18<sup>th</sup></b>	Not considered	Evaluate July 22, 2021	Evaluate July 22, 2021	Plan for event (construction)	<b>Plan for drive through event</b>



**RESOLUTION NO. R2022.09**

A RESOLUTION OF THE TOWN OF GUADALUPE, ARIZONA, MAYOR AND COMMON COUNCIL, APPROVING AN ASSESSMENT LIEN MODIFICATION AGREEMENT CONCERNING REAL PROPERTY LOCATED IN THE TOWN OF GUADALUPE AT 5719 EAST CALLE MAGDALENA (APN 301-06-078).

**WHEREAS**, Maricopa County Arizona Assessor's records indicate that Assessor's Parcel 301- 06-078 is within the Town limits of the Town of Guadalupe ("the Property"), 5719 East Calle Magdalena. The legal description of said property is attached hereto as Exhibit A; and,

**WHEREAS**, In accord with State statutes, the Town of Guadalupe took an abatement action and cleared the property in question and recorded an Assessment Lien thereon on October 15, 2021, at document 2021-1112871 in the sum of \$5,500 with accruing interest, pursuant to ARS Section 44-1201 and ARS Section 9-499(0); and,

**WHEREAS**, On October 21, 2021, a Treasurer's Deed was recorded at document 2021-1131825 showing a change of ownership from the prior owner of said property to Robert Fabrizio (Fabrizio); and,

**WHEREAS**, A dispute has arisen between the parties concerning the Town's Assessment Lien which they have decided to resolve amicably.

**NOW THEREFORE, BE IT RESOLVED** that the Town Council of the Town of Guadalupe, Mayor and Council as follows:

**SECTION 1.** The Town's Assessment Lien is a valid first priority lien in the reduced sum of Two Thousand Five Hundred Dollars (\$2,500); and,

**SECTION 2.** The Town will waive any interest thereon for a period not to exceed twenty-four (24) months from the date of this Agreement; and,

**SECTION 3.** Fabrizio agrees he does not challenge the validity of the Town's lien and that it shall be paid at close of escrow from the proceeds of any sale of said property; and,

**SECTION 4.** If the property (5719 East Calle Magdalena) is not sold within 24 months of this agreement, Fabrizio will pay the Town the sum of \$2,500 and the Town will promptly record a release of said lien; and,

**SECTION 5.** Interest at the legal rate will accrue beginning on the 25th month after the date of this Agreement; and,

**SECTION 6.** If the sum of \$2,500 is not paid to the Town by the 25th month after the date of this Agreement, the Town may foreclose on its lien in the sum of \$2,500 plus accrued interest, if any, and its costs and attorneys fees; and,



**SECTION 7.** The effective date of this Resolution shall be the date the authorized representative of Guadalupe has signed the Resolution.

**PASSED AND ADOPTED** by the Mayor and Council of the Town of Guadalupe, Arizona, this 10<sup>th</sup> day of March, 2022.

**Attested to:**

---

Valerie Molina, Mayor

---

Jeff Kulaga, Town Manager /Clerk

**Approved as to form:**

---

David E. Ledyard, Esq.  
FAITH, LEDYARD & FAITH, PLC  
Town Attorneys

## EXHIBIT A

LOT 15, BLOCK 5, OF EAST GUADALUPE, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 211 OF MAPS, PAGE 18.

ALSO KNOWN AS:

THAT PART OF BLOCK 5 OF EAST GUADALUPE, A SUBDIVISION RECORDED IN BOOK 162, PAGE 35, MARICOPA COUNTY, ARIZONA RECORDS, DESCRIBED AS FOLLOWS:

FROM THE NORTHERNMOST TERMINUS OF THE CURVE AT THE NORTHEAST CORNER OF THE SAID BLOCK 5 MEASURE;  
THENCE SOUTH 89°59'51" WEST, ALONG THE NORTH LINE OF THE SAID BLOCK 5, A DISTANCE OF 251.00 FEET TO THE POINT OF BEGINNING;  
THENCE SOUTH 00°00'09" EAST, 190.00 FEET;  
THENCE SOUTH 89°59'51" WEST, 64.00 FEET;  
THENCE NORTH 00°00'09" WEST, 190.00 FEET TO A POINT ON THE NORTH LINE OF BLOCK 5;  
THENCE NORTH 89°59'51" EAST, ALONG THE SAID NORTH LINE OF BLOCK 5, A DISTANCE OF 64.00 FEET TO THE PINT OF BEGINNING.

Unofficial Document

PARCEL—301-06-078 6

**WHEN RECORDED, RETURN TO:**

David E. Ledyard  
FAITH, LEDYARD & FAITH, PLC  
919 North Dysart Road, Suite F  
Avondale, AZ 85323

C2022-09

**ASSESSMENT LIEN MODIFICATION AGREEMENT**

The parties herein are the Town of Guadalupe, an Arizona municipal corporation, hereafter referred to as (“**the Town**”) and Robert Fabrizio, hereafter referred to as (“**Mr. Fabrizio**”), and do hereby agree, covenant and contract as follows:

**RECITALS**

1. Maricopa County Arizona Assessor’s records indicate that Assessor’s Parcel 301-06-078 is within the Town limits of the Town of Guadalupe (“**the Property**”). The legal description of said property is attached hereto as Exhibit A.

2. In accord with State statutes, the Town of Guadalupe took an abatement action and cleared the property in question and recorded an Assessment Lien thereon on October 15, 2021, at document 2021-1112871 in the sum of \$5,500.00 with accruing interest, pursuant to ARS Section 44-1201 and ARS Section 9-499(G).

3. On October 21, 2021, a Treasurer’s Deed was recorded at document 2021-1131825 showing a change of ownership from the prior owner of said property to Mr. Fabrizio.

4. A dispute has arisen between the parties concerning the Town’s Assessment Lien which they have decided to resolve amicably as follows:

NOW, THEREFORE, the parties hereby agree as follows:

- A. The Town’s Assessment Lien is a valid first priority lien in the reduced sum of Two Thousand Five Hundred Dollars (\$2,500.00);
- B. The Town will waive any interest thereon for a period not to exceed twenty-four (24) months from the date of this Agreement;
- C. Mr. Fabrizio agrees he does not challenge the validity of the Town’s lien and that it shall be paid from the proceeds of any sale of said property;
- D. If the Property IS NOT SOLD WITHIN 24 MONTHS of this Agreement, MR. FABRIZIO will pay the Town the sum of \$2,500.00 and the Town will promptly record a release of said lien;

- E. Interest at the legal rate will accrue beginning on the 25<sup>th</sup> month after the date of this Agreement;
- F. If the sum of \$2,500.00 is not paid to the Town by the 25<sup>th</sup> month after the date of this Agreement, the Town may foreclose on its lien in the sum of \$2,500.00 plus accrued interest, if any, and its costs and attorneys fees;
- G. The Effective Date of this Agreement shall be the date the Authorized Representative of Guadalupe has signed the document.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Robert Fabrizio

**TOWN OF GUADALUPE**

\_\_\_\_\_  
March 10, 2022  
Date

By \_\_\_\_\_

\_\_\_\_\_  
Its Valerie Molina, Mayor

Attest:

\_\_\_\_\_  
Jeff Kulaga, Town Manager / Clerk

Approved as to Form:

\_\_\_\_\_  
David E. Ledyard, Town Attorney

## EXHIBIT A

LOT 15, BLOCK 5, OF EAST GUADALUPE, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 211 OF MAPS, PAGE 18.

ALSO KNOWN AS:

THAT PART OF BLOCK 5 OF EAST GUADALUPE, A SUBDIVISION RECORDED IN BOOK 162, PAGE 35, MARICOPA COUNTY, ARIZONA RECORDS, DESCRIBED AS FOLLOWS:

FROM THE NORTHERNMOST TERMINUS OF THE CURVE AT THE NORTHEAST CORNER OF THE SAID BLOCK 5 MEASURE;  
THENCE SOUTH  $89^{\circ}59'51''$  WEST, ALONG THE NORTH LINE OF THE SAID BLOCK 5, A DISTANCE OF 251.00 FEET TO THE POINT OF BEGINNING;  
THENCE SOUTH  $00^{\circ}00'09''$  EAST, 190.00 FEET;  
THENCE SOUTH  $89^{\circ}59'51''$  WEST, 64.00 FEET;  
THENCE NORTH  $00^{\circ}00'09''$  WEST, 190.00 FEET TO A POINT ON THE NORTH LINE OF BLOCK 5;  
THENCE NORTH  $89^{\circ}59'51''$  EAST, ALONG THE SAID NORTH LINE OF BLOCK 5, A DISTANCE OF 64.00 FEET TO THE POINT OF BEGINNING.

Unofficial Document

PARCEL—301-06-078 6

**RESOLUTION NO. R2022.04**

A RESOLUTION OF THE TOWN OF GUADALUPE, ARIZONA, MAYOR AND COMMON COUNCIL, DESIGNATING THE TOWN MANAGER / CLERK AS THE CHIEF FISCAL OFFICER FOR OFFICIALLY SUBMITTING THE FISCAL YEAR 2023 EXPENDITURE LIMITATION REPORT TO THE ARIZONA AUDITOR GENERAL.

**WHEREAS**, A.R.S. §41-1279.07(E) requires each county, city, town, and community college district to annually provide to the Auditor General by July 31 the name of the Chief Fiscal Officer the governing body designated to officially submit the current year’s annual expenditure limitation report (AELR) on the governing body’s behalf; and

**WHEREAS**, the Town of Guadalupe, Mayor and Council desires to designate the Town Manager / Clerk, Jeff Kulaga, as the Town of Guadalupe Chief Fiscal Officer; and,

**WHEREAS**, Entities must submit an updated form and documentation for any changes in the individuals designated to file AELR.

**NOW THEREFORE, BE IT RESOLVED** that the Town Council of the Town of Guadalupe, Mayor and Council as follows:

**SECTION 1.** The recitals above are hereby incorporated as if fully set forth herein.

**SECTION 2.** The Town Manager / Clerk is hereby designated as the Town of Guadalupe’s Chief Fiscal Officer for purposes of submitting the fiscal year 2023 AELR to the Arizona Auditor General’s Office on the governing body’s behalf.

**PASSED AND ADOPTED** by the Mayor and Council of the Town of Guadalupe, Arizona, this 10<sup>th</sup> day of March, 2022.

**Attested to:**

\_\_\_\_\_  
Valerie Molina, Mayor  
Town of Guadalupe

\_\_\_\_\_  
Jeff Kulaga, Town Manager /Clerk  
Town of Guadalupe

**Reviewed by:**

**Approved as to form:**

\_\_\_\_\_  
Robert Thaxton, Finance Director  
Town of Guadalupe

\_\_\_\_\_  
David E. Ledyard, Town Attorney  
Town of Guadalupe

**RESOLUTION NO. R2022.08**

A RESOLUTION OF THE TOWN OF GUADALUPE, ARIZONA, MAYOR AND COMMON COUNCIL, DESIGNATING JEFF KULAGA, TOWN MANAGER / CLERK, AS THE CHIEF FISCAL OFFICER FOR OFFICIALLY SUBMITTING THE FISCAL YEAR 2022 EXPENDITURE LIMITATION REPORT TO THE ARIZONA AUDITOR GENERAL; AND REPEALING AND REPLACING RESOLUTION NO. R2021.01 WITH RESOLUTION NO. R2022.08.

**WHEREAS**, A.R.S. §41-1279.07(E) requires each county, city, town, and community college district to annually provide to the Auditor General by July 31 the name of the Chief Fiscal Officer the governing body designated to officially submit the current year’s annual expenditure limitation report (AELR) on the governing body’s behalf; and

**WHEREAS**, the Town of Guadalupe, Mayor and Council desires to designate the Town Manager / Clerk, Jeff Kulaga, as the Town of Guadalupe Chief Fiscal Officer; and,

**WHEREAS**, Entities must submit an updated form and documentation for any changes in the individuals designated to file AELR.

**NOW THEREFORE, BE IT RESOLVED** that the Town Council of the Town of Guadalupe, Mayor and Council as follows:

**SECTION 1.** The recitals above are hereby incorporated as if fully set forth herein.

**SECTION 2.** Jeff, Kulaga, Town Manager / Clerk, is hereby designated as the Town of Guadalupe’s Chief Fiscal Officer for purposes of submitting the fiscal year 2022 AELR to the Arizona Auditor General’s Office on the governing body’s behalf.

**SECTION 3.** Repealing and replacing Resolution No. R2021.01, adopted by the Guadalupe Town Council on February 25, 2021, with Resolution No. R2022.08, dated March 10, 2022.

**PASSED AND ADOPTED** by the Mayor and Council of the Town of Guadalupe, Arizona, this 10<sup>th</sup> day of March, 2022.

**Attested to:**

\_\_\_\_\_  
Valerie Molina, Mayor  
Town of Guadalupe

\_\_\_\_\_  
Jeff Kulaga, Town Manager /Clerk  
Town of Guadalupe

**Reviewed by:**

**Approved as to form:**

\_\_\_\_\_  
Robert Thaxton, Finance Director  
Town of Guadalupe

\_\_\_\_\_  
David E. Ledyard, Town Attorney  
Town of Guadalupe

## Accounts Payable

## Checks by Date - Detail by Check Date

User: jdrury  
 Printed: 3/1/2022 10:34 AM



Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Check Amount
67128	AMAZON	Amazon Capital Services	02/04/2022	
	11CK-CD1T-L9LY	COVID19: face masks (adult & children)	COVID19: face masks (adult	164.83
	14XQ-4C74-DQ19	COVID19: lysol wipes, face masks, and hand sai	COVID19: lysol wipes, face n	909.22
	191D-3JY7-JPDP	COVID19: KN95 masks, face masks, and lysol v	COVID19: KN95 masks, face	918.11
	1M3F-WJLT-FVFP	COVID19: face masks (adult and children)	COVID19: face masks (adult	368.36
	1NYV-JPNC-LL4N	COVID19: reusable bags	COVID19: reusable bags	253.60
	1T4D-1MGJ-K7T6	client box: bandages, toothbrushes, socks, laundr	client box: bandages, toothbru	404.86
	1T4D-1MGJ-K7T6	client food box: peanut butter crackers	client box: bandages, toothbru	18.35
	1T4D-1MGJ-KHP6	COVID19: lysol spray	COVID19: lysol spray	419.15
	1VH9-PJ97-CYHH	retunred string light bulb replacements	retunred string light bulb repl	-30.86
		Total for Check Number 67128:		3,425.62
67129	ANARADIA G22-01-01	Anaradian & Associates LLC the maxine: plan review and research	02/04/2022 the maxine: plan review and r	200.00
		Total for Check Number 67129:		200.00
67130	BIGBRAND 3011-1425465	Big Brand Tire and Services backhoe: service call to repair flat	02/04/2022 backhoe: service call to repair	156.52
		Total for Check Number 67130:		156.52
67131	BOUNDTRE 84372526 84372527	Bound Tree Medical LLC iv catheters and iv start kits smart capnoline	02/04/2022 iv catheters and iv start kits smart capnoline	1,463.38 1,201.16
		Total for Check Number 67131:		2,664.54
67132	TE9999 7811200000 7811200000 7811200000	City of Tempe - Customer Service utility assistance MM 3 utility assistance MM 2 utility assistance MM 1	02/04/2022 utility assistance MM utility assistance MM utility assistance MM	24.94 316.72 315.03
		Total for Check Number 67132:		656.69
67133	TEWBILLS 02022022	City of Tempe - Customer Service water bills collected 2/2	02/04/2022 water bills collected 2/2	44.43
		Total for Check Number 67133:		44.43
67134	DHPACE SVC/105037	DH Pace Door Services suite #29 & 7: replace pivots and realign doors	02/04/2022 suite #29 & 7: replace pivots &	689.30
		Total for Check Number 67134:		689.30
67135	FIERROME 676 677	Fierro Media HD LLC COVID19: av services for 1/13 council meeting COVID19: av services for 1/27 council meeting	02/04/2022 COVID19: av services for 1/1 COVID19: av services for 1/2	1,500.00 1,500.00



Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Check Amount
			Total for Check Number 67135:	3,000.00
67136	HOME2871	Home Depot Credit Services	02/04/2022	
	0020200	mailboxes: concrete mix, steel wheel cutter, and	mailboxes: concrete mix, steel	140.29
	4510284	rear trigger nozzle	dustpan, broom, trufuel, turtle	11.87
	4510284	turtle wax	dustpan, broom, trufuel, turtle	22.64
	4510284	trufuel	dustpan, broom, trufuel, turtle	6.42
	4510284	dustpan, broom, and trash bags	dustpan, broom, trufuel, turtle	42.07
	6082539	moving supplies: shrinkwrap	moving supplies: shrinkwrap	84.27
	7280605	tru fuel pre mix	tru fuel pre mix	34.43
	7516888	mailboxes	mailboxes	189.69
	752092	power sprayer: replacement nozzle, replacement	Replacement nozzle, replacem	240.39
	752092	TH & sheriff: ajax and toilet brush	Replacement nozzle, replacem	45.60
	9022483	street light box: lock and photo cell	screws, padlock, hinge hasp, r	37.79
	9022483	shop: screws and lock nuts	screws, padlock, hinge hasp, r	12.92
	9022483	shop: padlock, hinges, and rotating posts	screws, padlock, hinge hasp, r	53.47
	9511935	door latch	oil and door latch	48.60
	9511935	eone: oil	oil and door latch	24.84
	9523629	mailboxes: reflective tape and vinyl numbers	mailboxes: reflective tape and v	18.19
			Total for Check Number 67136:	1,013.48
67137	INTERIMP	Interim Public Management LLC	02/04/2022	
	2846	COVID19: interim COVID consultant 1/17-1/30	COVID19: interim COVID cc	3,222.80
	2848	COVID19: interim CAP consultant 1/17-1/30/22	COVID19: interim CAP const	7,292.36
			Total for Check Number 67137:	10,515.16
67138	LIQUID	Liquid Environmental Solutions of AZ, LLC	02/04/2022	
	SVC1129573	% grease trap disposal Jan 22	grease trap disposal Jan 22	59.79
	SVC1129573	% grease trap disposal Jan 22	grease trap disposal Jan 22	59.80
			Total for Check Number 67138:	119.59
67139	MCRECORI	Maricopa Co Recorder's Office	02/04/2022	
	20220095822	record lien release P&MP 2	record lien release P&MP 2	15.00
	20220095823	record lien release P&MP 1	record lien release P&MP 1	15.00
			Total for Check Number 67139:	30.00
67140	MARTELEC	Martinez, Xavier	02/04/2022	
	1002	Fire station reno: 50A RV connection: labor and	Fire station reno: 50A RV con	585.98
	1002	SCBA: labor and parts to install new 125A sub p	Fire station reno: 50A RV con	3,433.63
	1002	SCBA: labor and parts to install new 125A sub p	Fire station reno: 50A RV con	388.58
			Total for Check Number 67140:	4,408.19
67141	MCSHER	MCSO Patrol and Per Diem Billing	02/04/2022	
	FEB22PATROL	patrol services Feb 22 COVID19	patrol services Feb 22	48,101.53
	FEB22PATROL	patrol services Feb 22	patrol services Feb 22	119,196.04
			Total for Check Number 67141:	167,297.57
67142	NAVARROA	Navarro, Angelina	02/04/2022	
	02012022	refund security deposit	refund security deposit	981.88
			Total for Check Number 67142:	981.88
67143	PALS	Pet & Animal Lovers Service	02/04/2022	
	8236	dead animal pick up Jan 22	dead animal pick up Jan 22	66.50

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Check Amount
			Total for Check Number 67143:	66.50
67144	PRIMESOU 110032 110593	Prime Source Printing and Promotional LLC Navidad: 115 volunteer shirts Navidad: printing numbered pads	02/04/2022 Navidad: 115 volunteer shirts Navidad: printing numbered p	1,871.21 313.25
			Total for Check Number 67144:	2,184.46
67145	RENJOY 1312022	Ren, Joy management analyst Jan 22	02/04/2022 management analyst Jan 22	136.00
			Total for Check Number 67145:	136.00
67146	SCHADE R7P91850 R7P91850 R7P91920 R7P91920	Riviera Finance % milk 1/19 % milk 1/19 % milk 1/26 % milk 1/26	02/04/2022 milk 1/19 milk 1/19 milk 1/26 milk 1/26	65.56 23.03 23.03 65.56
			Total for Check Number 67146:	177.18
67147	RVRENTAL 02102022	RV Rental Housing Fire station remodel: rental of RV housing 2/10-	02/04/2022 Fire station remodel: rental of	11,900.00
			Total for Check Number 67147:	11,900.00
67148	SHAMROCK 24493448 24493448 24493448 24493448 24493448 24493448 24493448 24493448 24493448	Shamrock Foods Company % foam containers, cutlery, and lids % foam containers, cutlery, and lids % oven degreaser, pine sol, scouring pads, and s % foam containers, cutlery, and lids % oven degreaser, pine sol, scouring pads, and s % provolone cheese, sour cream, quinoa, bbq sat % provolone cheese, sour cream, quinoa, bbq sat % oven degreaser, pine sol, scouring pads, and s	02/04/2022 food, kitchen, and janitorial su food, kitchen, and janitorial su food, kitchen, and janitorial su food, kitchen, and janitorial su food, kitchen, and janitorial su food, kitchen, and janitorial su food, kitchen, and janitorial su food, kitchen, and janitorial su food, kitchen, and janitorial su	42.54 38.21 6.67 6.08 42.24 791.37 278.05 25.19
			Total for Check Number 67148:	1,230.35
67149	SUNSHINE 10889 10889 10889 10889 10889 10889 10889 10889 10889 10889 10889 10889 10889 10889 10889	Sunshine Pest Control extermination services Feb 22 % sr center extermination services Feb 22 maint yd extermination services Feb 22 % sr center extermination services Feb 22 fire extermination services Feb 22 CAP extermination services Feb 22 % sr center extermination services Feb 22 mercado rodent cc extermination services Feb 22 library extermination services Feb 22 mercado extermination services Feb 22 headstart inside extermination services Feb 22 stott/biehn park extermination services Feb 22 headstart outside extermination services Feb 22 maint extermination services Feb 22 TH	02/04/2022 extermination services Feb 22 extermination services Feb 22 extermination services Feb 22 extermination services Feb 22 extermination services Feb 22 extermination services Feb 22 extermination services Feb 22 extermination services Feb 22 extermination services Feb 22 extermination services Feb 22 extermination services Feb 22 extermination services Feb 22 extermination services Feb 22 extermination services Feb 22 extermination services Feb 22	5.61 128.25 5.61 28.98 75.71 5.61 200.00 27.79 145.98 14.37 54.07 54.07 54.07 64.88
			Total for Check Number 67149:	865.00
67150	TEPOWER 341932 341932	Tempe Power Equipment pressure washer: oil, oil seal, and labor pressure washer: oil, oil seal, and labor	02/04/2022 pressure washer: oil, oil seal, ; pressure washer: oil, oil seal, ;	45.84 45.85

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Check Amount
			Total for Check Number 67150:	91.69
67151	WASTECON 4467354T300 4475071B300	Waste Connections of AZ Inc residential charges Jan 22 roll off fees Jan 31	02/04/2022 residential charges Jan 22 roll off fees Jan 31	23,305.05 422.90
			Total for Check Number 67151:	23,727.95
67152	YATESENT 1196 1196	Yates Enterprise Inc Navidad: reimburse for purchase of tablecloths Parade: refund for rental of radios	02/04/2022 refund for rental of radios and refund for rental of radios and	60.75 125.31
			Total for Check Number 67152:	186.06
			Total for 2/4/2022:	235,768.16
67153	AZMRRP 4001291-2722 4001291-2722 4001291-2722 4001291-2722 4001291-2722 4001291-2722 4001291-2722 4001291-2722 4001291-2722 4001291-2722 4001291-2722 4001291-2722 4001291-2722 4001291-2722 4001291-2722 4001291-2722 4001291-2722 4001291-2722 4001291-2722	AZ Mun. Risk Retention Pool commercial liability FY 22 commercial liability FY 22 commercial liability FY 22 excess liability FY 22 excess liability FY 22 commercial liability FY 22 excess liability FY 22 commercial liability FY 22 excess liability FY 22 commercial liability FY 22 excess liability FY 22 commercial liability FY 22 excess liability FY 22 commercial liability FY 22 excess liability FY 22 commercial liability FY 22 excess liability FY 22 commercial liability FY 22 excess liability FY 22 commercial liability FY 22 excess liability FY 22 commercial liability FY 22 excess liability FY 22 commercial liability FY 22 excess liability FY 22 commercial liability FY 22 excess liability FY 22	02/11/2022 commercial and excess liabilit	3,930.77 204.58 1,423.29 10.14 1,971.85 646.91 156.66 677.23 71.03 35.15 23,115.11 111.12 38.61 442.76 80.44 853.35
			Total for Check Number 67153:	33,769.00
67154	TEWBILLS 02042022 02072022 02082022	City of Tempe - Customer Service water bills collected 2/4 water bills collected 2/7 water bills collected 2/8	02/11/2022 water bills collected 2/4 water bills collected 2/7 water bills collected 2/8	152.19 222.69 291.28
			Total for Check Number 67154:	666.16
67155	DAILYJOU A3550165 A3551648	Daily Journal Corporation advertising for marquee sign bid advertising for council chambers improvements l	02/11/2022 advertising for marquee sign t advertising for council chamb	3.32 5.23
			Total for Check Number 67155:	8.55
67156	DHPACE SVC/105181	DH Pace Door Services suite #34: flush bolts and labor	02/11/2022 suite #34: flush bolts and labo	362.10
			Total for Check Number 67156:	362.10
67157	DIBBLENG 1016014.10-13 1016014.12-12 1016014.14-5 1016014.16-4	Dibble & Associates Consutling Engineers Wastewater System Rehab CDBG: construction ; Highline Canal Lighting System: change order # Vaou Nawi Pedestrian Improvements: roadway & Guadalupe street light inventory/assesment: field	02/11/2022 Wastewater System Rehab CE Highline Canal Lighting Syste Vaou Nawi Pedestrian Improv Guadalupe street light invento	1,714.80 1,777.60 4,392.80 3,000.00

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Check Amount
	1016014.17-4	Guadalupe council chambers remodel: design ph	Guadalupe council chambers r	6,004.55
	1016014-74R	engineer services Jan 22: street light layout coord	engineer services Jan 22	1,200.00
	1016014-74R	engineer services Jan 22: Mazon driveway re-de	engineer services Jan 22	617.00
	1016014-74R	engineer services Jan 22: Driveway quantities - a	engineer services Jan 22	556.00
	1016014-74R	engineer services Jan 22: 2023 CDBG presentati	engineer services Jan 22	1,072.00
	1016014-74R	engineer services Jan 22: alley utilities identify	engineer services Jan 22	628.00
	1016014-74R	engineer services Jan 22: inspection services	engineer services Jan 22	6,510.00
	1016014-74R	engineer services Jan 22: SRP easement - la cuar	engineer services Jan 22	730.00
	1016014-74R	engineer services Jan 22: AdY construction admi	engineer services Jan 22	2,260.00
	1016014-74R	engineer services Jan 22: Vaou Nawi interconnec	engineer services Jan 22	721.00
			Total for Check Number 67157:	31,183.75
67158	DUNBAR I1123266	Dunbar Security Product, Inc deposit slips (200)	02/11/2022 deposit slips (200)	33.86
			Total for Check Number 67158:	33.86
67159	EWING 15977040	Ewing Irrigation Products Inc botanical garden: white marking paint for tree pl	02/11/2022 botanical garden: white marki	29.54
			Total for Check Number 67159:	29.54
67160	FAITH 1068966 1068966 1068966 1068966 1068966	Faith,Ledyard, Faith general attorney services Jan 22 postage & copie general attorney services Jan 22 % sr center general attorney services Jan 22 % sr center general attorney services Jan 22 % sr center general attorney services Jan 22	02/11/2022 general attorney services Jan 2 general attorney services Jan 2 general attorney services Jan 2 general attorney services Jan 2 general attorney services Jan 2	55.02 33.33 33.33 33.34 6,243.50
			Total for Check Number 67160:	6,398.52
67161	GFFA 02112022 KF	Guadalupe Firefighters Associa PR Batch 00811.02.2022 Kitty Fund	02/11/2022 PR Batch 00811.02.2022 Kitt	94.00
			Total for Check Number 67161:	94.00
67162	GFFA 02112022 UD	Guadalupe Firefighters Associa PR Batch 00811.02.2022 Union Dues	02/11/2022 PR Batch 00811.02.2022 Unic	165.00
			Total for Check Number 67162:	165.00
67163	AZPPE 3188 3189	Gulf Coast Business Credit SCBA: standard mask bag w/ reflective & snap hose bed cover	02/11/2022 SCBA: standard mask bag w/ hose bed cover	2,075.52 94.59
			Total for Check Number 67163:	2,170.11
67164	HOLGUING 43	Graciela Holguin COVID19: coordinate w/ TOG, clients, and PYT	02/11/2022 COVID19: coordinate w/ TOC	1,460.00
			Total for Check Number 67164:	1,460.00
67165	MATRIX 35539	Matrix Design Group, Inc review plans for hotel conversion	02/11/2022 review plans for hotel convers	1,895.00
			Total for Check Number 67165:	1,895.00
67166	NATFIRE A-2495 A-2496 A-2496	National Fire Control TH: annual fire alarm inspection, pull stations, sr % fire alarm testing % fire alarm testing	02/11/2022 TH: annual fire alarm inspecti fire alarm testing SR CENTEI fire alarm testing SR CENTEI	223.95 73.90 76.15

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Check Amount
	A-2496	% fire alarm testing	fire alarm testing SR CENTEL	73.90
	FX-2520	Library: annual fire extinguisher and emergency/	Library: annual fire extinguish	92.75
	FX-2521	Fire: fire extinguisher inspection, new 20# exting	Fire: fire extinguisher inspecti	378.00
	FX-2522	Headstart: fire extinguisher inspection	Headstart: fire extinguisher in	44.70
	FX-2523	% fire extinguisher and emergency exit light insp	% fire extinguisher and emerg	26.22
	FX-2523	% fire extinguisher and emergency exit light insp	% fire extinguisher and emerg	27.01
	FX-2523	% fire extinguisher and emergency exit light insp	% fire extinguisher and emerg	26.22
	FX-2524	TH: annual inspection of fire extinguishers and e	TH: annual inspection of fire c	114.20
	S-2543	TH: annual fire sprinkler system inspection	TH: annual fire sprinkler syste	133.95
			Total for Check Number 67166:	1,290.95
67167	PEREZV 45	Veronica Perez COVID19: coordinate w/ TOG, clients, and PYT	02/11/2022 COVID19: coordinate w/ TOG	1,325.00
			Total for Check Number 67167:	1,325.00
67168	PETTYC Jan 22 Jan 22 Jan 22 Jan 22 Jan 22	Petty Cash Fund, Town Hall certified letter code enforcement % menudo mix, granulated garlic, onion powder, % menudo mix, granulated garlic, onion powder, COVID tests certified letter Jeff	02/11/2022 petty cash disbursements Jan 2 petty cash disbursements Jan 2 petty cash disbursements Jan 2 petty cash disbursements Jan 2 petty cash disbursements Jan 2	22.14 14.15 40.26 107.99 7.38
			Total for Check Number 67168:	191.92
67169	RITTERM 1	Mike Ritter code compliance services 2/1-2/4/22	02/11/2022 code compliance services 2/1-	900.00
			Total for Check Number 67169:	900.00
67170	SIMSBS 201279	Sims Business Systems copy overages Jan 22	02/11/2022 copy overages Jan 22	24.86
			Total for Check Number 67170:	24.86
67171	TEPOWER 342532 342532	Tempe Power Equipment %blower: harness %blower: harness	02/11/2022 %blower: harness %blower: harness	43.37 43.37
			Total for Check Number 67171:	86.74
67172	TESTLUKE Jan 22	Tempe St Luke's Hospital pharmacy charges Jan 22	02/11/2022 pharmacy charges Jan 22	18.40
			Total for Check Number 67172:	18.40
67173	UNSITE 114-12813751	United Site Services port a potty Feb 22	02/11/2022 port a potty Feb 22	213.25
			Total for Check Number 67173:	213.25
67174	WITMER E2152388 E2152390	Witmer Public Safety Group Inc bullard full brim wildland helmets (6) cairns helmets (7) and leatherfronts (10)	02/11/2022 bullard full brim wildland heli cairns helmets (7) and leatherf	377.28 2,828.91
			Total for Check Number 67174:	3,206.19
67175	ZAMORAS 2022-TOG-1	Stephanie Zamora COVID19: public information officer services 1/	02/11/2022 COVID19: public informatior	450.00
			Total for Check Number 67175:	450.00

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Check Amount
			Total for 2/11/2022:	85,942.90
67176	AAFLAND 91772373	AAF International air filters 16x16x1	02/25/2022 air filters 16x16x1	448.39
			Total for Check Number 67176:	448.39
67177	ALKASPH 02222022	ALK Asphalt patch pave asphalt	02/25/2022 patch pave asphalt	3,250.00
			Total for Check Number 67177:	3,250.00
67178	ALPHAGRA 46408	Alphagraphics COVID19: street signs and window signs	02/25/2022 COVID19: street signs and wi	3,554.05
			Total for Check Number 67178:	3,554.05
67179	BANNERDM Jan 22	Banner Desert Medical Center pharmacy charges Jan 22	02/25/2022 pharmacy charges Jan 22	1.60
			Total for Check Number 67179:	1.60
67180	BOUNDTRE 84374658 84374659 84398027 84406952	Bound Tree Medical LLC ear tip clips safety lancets IV admin sets and safety lancets iv catheters and defib pads	02/25/2022 ear tip clips safety lancets IV admin sets and safety lance iv catheters and defib pads	188.61 26.73 1,506.17 1,116.63
			Total for Check Number 67180:	2,838.14
67181	TEWBILLS 02102022 02112022 02142022 02152022 02162022 02222022	City of Tempe - Customer Service water bills collected 2/10 water bills collected 2/11 water bills collected 2/14 water bills collected 2/15 water bills collected 2/16 water bills collected 2/22	02/25/2022 water bills collected 2/10 water bills collected 2/11 water bills collected 2/14 water bills collected 2/15 water bills collected 2/16 water bills collected 2/22	132.75 87.26 209.96 85.05 190.69 74.53
			Total for Check Number 67181:	780.24
67182	EWING 16073122 16073122 16073122	Ewing Irrigation Products Inc % round point shovel, square point shovel, sprin Botanical garden tree support: mult emitter, torc % round point shovel, square point shovel, sprin	02/25/2022 shovels, rakes, and irrigation f shovels, rakes, and irrigation f shovels, rakes, and irrigation f	115.60 111.39 115.59
			Total for Check Number 67182:	342.58
67183	GFFA 02252022 KF	Guadalupe Firefighters Associa PR Batch 00825.02.2022 Kitty Fund	02/25/2022 PR Batch 00825.02.2022 Kitt	84.00
			Total for Check Number 67183:	84.00
67184	GFFA 02252022 UD	Guadalupe Firefighters Associa PR Batch 00825.02.2022 Union Dues	02/25/2022 PR Batch 00825.02.2022 Unic	165.00
			Total for Check Number 67184:	165.00
67185	H&EEQUIP 96393873	H and E Equipment Exchange LLC eone: inspect for coolant/leak, intake valve repla	02/25/2022 eone: inspect for coolant/leak,	10,568.14

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Check Amount
			Total for Check Number 67185:	10,568.14
67186	HOLGUING 44	Graciela Holguin COVID19: coordinated w/ TOG, clients, and PY	02/25/2022 COVID19: coordinated w/ TC	1,600.00
			Total for Check Number 67186:	1,600.00
67187	HUALDET 02252022	Timothy Hualde net payroll check 2/25	02/25/2022 net payroll check 2/25	983.13
			Total for Check Number 67187:	983.13
67188	INTERIMP 2855 2858	Interim Public Management LLC COVID19: interim COVID consultant COVID19: interim CAP consultant 1/31-2/13/22	02/25/2022 COVID19: interim COVID cc COVID19: interim CAP const	3,210.84 8,225.52
			Total for Check Number 67188:	11,436.36
67189	JRI WO-7378	Johnson Refrigeration Headstart: no heating call, troubleshoot, replace l	02/25/2022 Headstart: no heating call, tro	159.00
			Total for Check Number 67189:	159.00
67190	JUVES 042767	Juve's Auto Clinic 2019 escape: oil change	02/25/2022 2019 escape: oil change	41.49
			Total for Check Number 67190:	41.49
67191	LNCURTIS INV569257	LN Curtis and Sons swivel adapter and adapter for hoses	02/25/2022 swivel adapter and adapter for	108.37
			Total for Check Number 67191:	108.37
67192	PEREZV 46	Veronica Perez COVID19: coordinated w/ TOG, clients, and PY	02/25/2022 COVID19: coordinated w/ TC	1,300.00
			Total for Check Number 67192:	1,300.00
67193	RITEWAY 5441	Rite Way Communications fire station remodel: triple cat cable, dual cat cab	02/25/2022 fire station remodel: triple cat	1,128.44
			Total for Check Number 67193:	1,128.44
67194	RITTERM 2	Mike Ritter code compliance contract 2/7-2/18/22	02/25/2022 code compliance contract 2/7-	1,110.00
			Total for Check Number 67194:	1,110.00
67195	SCHADE R7P92003 R7P92003 R7P92090 R7P92090 R7P92170 R7P92170 R7P92268 R7P92268	Riviera Finance % milk 2/2 % milk 2/2 % milk 2/9 % milk 2/9 % milk 2/16 % milk 2/16 % milk 2/23 % milk 2/23	02/25/2022 milk 2/2 milk 2/2 % milk 2/9 % milk 2/9 % milk 2/16 % milk 2/16 % milk 2/23 % milk 2/23	60.36 29.73 60.36 29.73 60.36 29.73 29.73 60.36
			Total for Check Number 67195:	360.36
67196	SHAMROCK 24525190	Shamrock Foods Company % margarine, tortillachips, croutons, hominy, mu	02/25/2022 food, kitchen, and janitorial su	707.10

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Check Amount
	24525190	% kitchen cutlery and food service wipers	food, kitchen, and janitorial su	36.29
	24525190	% margarine, tortillachips, croutons, hominy, mu	food, kitchen, and janitorial su	348.28
	24525190	% dish sanitizer and disinfecting wet wipes	food, kitchen, and janitorial su	5.94
	24525190	% kitchen cutlery and food service wipers	food, kitchen, and janitorial su	5.20
	24525190	% dish sanitizer and disinfecting wet wipes	food, kitchen, and janitorial su	37.65
	24525190	% dish sanitizer and disinfecting wet wipes	food, kitchen, and janitorial su	22.46
	24525190	% kitchen cutlery and food service wipers	food, kitchen, and janitorial su	32.59
	24757700	% toilet paper	food, kitchen, and janitorial su	26.74
	24757700	% gloves and food service wipers	food, kitchen, and janitorial su	33.71
	24757700	% gloves and food service wipers	food, kitchen, and janitorial su	5.37
	24757700	% apple juice, cranberry juice, orange juice, pine	food, kitchen, and janitorial su	396.78
	24757700	% toilet paper	food, kitchen, and janitorial su	15.95
	24757700	% gloves and food service wipers	food, kitchen, and janitorial su	37.54
	24757700	% apple juice, cranberry juice, orange juice, pine	food, kitchen, and janitorial su	805.57
	24757700	% toilet paper	food, kitchen, and janitorial su	4.23
	7511244	% whipped topping not delivered	% whipped topping not delive	-13.67
	7511244	% whipped topping not delivered	% whipped topping not delive	-27.75
			Total for Check Number 67196:	2,479.98
67197	STAPLEBA	Staples Contract and Commercial Inc	02/25/2022	
	3499931808	post its and batteries	post its, web cams, and batteri	53.70
	3499931808	COVID19: webcams (3)	post its, web cams, and batteri	94.66
	3499931810	toner	toner	27.19
	3499931810	toner	toner	27.19
	3499931812	drum cartridge	drum cartridge	36.63
	3499931812	drum cartridge	drum cartridge	36.63
			Total for Check Number 67197:	276.00
67198	TEPOWER	Tempe Power Equipment	02/25/2022	
	341931	% power washer: pump and labor to repair	% power washer: pump and la	267.10
	341931	% power washer: pump and labor to repair	% power washer: pump and la	267.10
			Total for Check Number 67198:	534.20
67199	ULINE	ULINE Inc	02/25/2022	
	144722250	cuaesma: yellow safety fence 1200 ft	cuaesma: yellow safety fence	736.94
			Total for Check Number 67199:	736.94
67200	UNFIRE	United Fire Equipment Co	02/25/2022	
	747372	fire: coat, pants, and boots JD	fire: coat, pants, and boots JD	3,871.17
			Total for Check Number 67200:	3,871.17
67201	UNFOODBK	United Food Bank	02/25/2022	
	AO00082227-1	additional food dist: milk, eggs, produce, and be	additional food dist: milk, egg	4.75
	AO00082791-1	additional food dist: milk, butter, hard boiled egg	additional food dist: milk, but	14.25
			Total for Check Number 67201:	19.00
67202	WASTECON	Waste Connections of AZ Inc	02/25/2022	
	4510006T300	roll off fees 2/1-2/14/22	roll off fees 2/1-2/14/22	1,361.96
			Total for Check Number 67202:	1,361.96
67203	WAXIE	Waxie Sanitary Supply	02/25/2022	
	80660898	% trash bags MERC	% trash bags	133.21
	80660898	% trash bags PARKS	% trash bags	133.21
	80660898	% trash bags TH	% trash bags	133.21
	80660898	% trash bags HS	% trash bags	26.64



Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Check Amount
	80660898	% trash bags MAINT	% trash bags	106.57
	80676776	COVID19: hospital disinfectant	COVID19: hospital disinfecta	270.80
Total for Check Number 67203:				803.64
67204	ZAMORAS	Stephanie Zamora	02/25/2022	
	2022-TOG-3	COVID19: public information officer services 2/	COVID19: public informatior	200.00
	2022-TOG-4	COVID19: public information officer services 2/	COVID19: public informatior	200.00
	2022-TOG-4	reimbursement for Adobe Pro subscription 4 mos	COVID19: public informatior	65.24
	2022-TOG-4	reimbursement for Canva subscription	COVID19: public informatior	12.95
Total for Check Number 67204:				478.19
Total for 2/25/2022:				50,820.37
2202201	ACTSEC	ACT Security, LLC	02/28/2022	
	3096	AdY: security guard services 1/16-1/31/22	AdY: security guard services	3,696.00
	3117	AdY: security guard services 2/1-2/15/2022	AdY: security guard services :	3,360.00
Total for Check Number 2202201:				7,056.00
2202202	AFLAC	AFLAC	02/28/2022	
	198934	supplemental insurance Feb 22	supplemental insurance Feb 2	728.20
Total for Check Number 2202202:				728.20
2202203	ALLSTREA	Allstream	02/28/2022	
	18042579	local telephone service Jan 22	local telephone service Jan 22	8.93
	18042579	local telephone service Jan 22	local telephone service Jan 22	36.91
	18042579	local telephone service Jan 22	local telephone service Jan 22	18.24
	18042579	local telephone service Jan 22	local telephone service Jan 22	62.51
	18042579	local telephone service Jan 22	local telephone service Jan 22	26.79
	18042579	local telephone service Jan 22	local telephone service Jan 22	35.72
	18042579	local telephone service Jan 22	local telephone service Jan 22	8.93
	18042579	local telephone service Jan 22	local telephone service Jan 22	18.47
	18042579	local telephone service Jan 22	local telephone service Jan 22	35.72
	18042579	local telephone service Jan 22	local telephone service Jan 22	195.10
	18042579	local telephone service Jan 22	local telephone service Jan 22	47.22
	18042579	local telephone service Jan 22	local telephone service Jan 22	17.86
	18042579	local telephone service Jan 22	local telephone service Jan 22	17.86
	18042579	local telephone service Jan 22	local telephone service Jan 22	8.93
	18042579	local telephone service Jan 22	local telephone service Jan 22	62.51
	18042579	local telephone service Jan 22	local telephone service Jan 22	17.86
Total for Check Number 2202203:				619.56
2202204	AMLEGALP	American Legal Publishing Corp	02/28/2022	
	14512	2022 S-5 supplement editing pages	2022 S-5 supplement editing p	875.33
	14681	Jan 22 S-5 supplement pages	Jan 22 S-5 supplement pages	91.85
Total for Check Number 2202204:				967.18
2202205	AVESIS	Avesis Insurance	02/28/2022	
	2822846	vision insurance Feb 22	vision insurance Feb 22	55.93
	2822846	vision insurance Feb 22 COBRA	vision insurance Feb 22	9.38
	2822846	vision insurance Feb 22	vision insurance Feb 22	6.57
	2822846	vision insurance Feb 22	vision insurance Feb 22	10.70
	2822846	vision insurance Feb 22	vision insurance Feb 22	1.41
	2822846	vision insurance Feb 22	vision insurance Feb 22	4.69
	2822846	vision insurance Feb 22	vision insurance Feb 22	13.93

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Check Amount
	2822846	vision insurance Feb 22	vision insurance Feb 22	1.88
	2822846	vision insurance Feb 22	vision insurance Feb 22	23.26
	2822846	vision insurance Feb 22	vision insurance Feb 22	13.93
	2822846	vision insurance Feb 22	vision insurance Feb 22	1.41
	2822846	vision insurance Feb 22	vision insurance Feb 22	7.00
	2822846	vision insurance Feb 22	vision insurance Feb 22	12.79
	2822846	vision insurance Feb 22	vision insurance Feb 22	3.71
	2822846	vision insurance Feb 22	vision insurance Feb 22	31.63
	2822846	vision insurance Feb 22 ee dep	vision insurance Feb 22	81.52
	2822846	vision insurance Feb 22	vision insurance Feb 22	7.46
	2822846	vision insurance Feb 22	vision insurance Feb 22	10.32
	2822846	vision insurance Feb 22	vision insurance Feb 22	14.58
			Total for Check Number 2202205:	312.10
2202206	AZDOR Jan 22	AZ Department of Revenue mercado sales tax Jan 22	02/28/2022 mercado sales tax Jan 22	635.52
			Total for Check Number 2202206:	635.52
2202207	AZDOT-AC 2965577	AZ Dept of Transportation 2008 Navistar 4300 -- 45ft aerial truck	02/28/2022 2008 Navistar 4300 -- 45ft aei	20,090.70
			Total for Check Number 2202207:	20,090.70
2202208	AZSRS	AZ State Retirement System	02/28/2022	
	01282022	PR Batch 00828.01.2022 Retirement-ASRS-Emj	PR Batch 00828.01.2022 AZ/	3,303.80
	01282022	PR Batch 00828.01.2022 Long Term Disability	PR Batch 00828.01.2022 AZ/	51.38
	01282022	PR Batch 00828.01.2022 Long Term Disability I	PR Batch 00828.01.2022 AZ/	51.38
	01282022	PR Batch 00828.01.2022 Retirement-ASRS	PR Batch 00828.01.2022 AZ/	3,303.80
	01282022	PR Batch 00828.01.2022 Alternate Contribution	PR Batch 00828.01.2022 AZ/	778.04
	02112022	PR Batch 00811.02.2022 Long Term Disability 2	PR Batch 00811.02.2022 AZ I	1.63
	02112022	PR Batch 00811.02.2022 Long Term Disability I	PR Batch 00811.02.2022 AZ I	49.36
	02112022	PR Batch 00811.02.2022 Long Term Disability I	PR Batch 00811.02.2022 AZ I	1.63
	02112022	PR Batch 00811.02.2022 Retirement-20/20 ASR	PR Batch 00811.02.2022 AZ I	104.76
	02112022	PR Batch 00811.02.2022 Retirement-ASRS-Emj	PR Batch 00811.02.2022 AZ I	3,175.29
	02112022	PR Batch 00811.02.2022 Retirement-20/20 ASR	PR Batch 00811.02.2022 AZ I	104.76
	02112022	PR Batch 00811.02.2022 Alternate Contribution	PR Batch 00811.02.2022 AZ I	778.03
	02112022	PR Batch 00811.02.2022 Long Term Disability	PR Batch 00811.02.2022 AZ I	49.36
	02112022	PR Batch 00811.02.2022 Retirement-ASRS	PR Batch 00811.02.2022 AZ I	3,175.29
			Total for Check Number 2202208:	14,928.51
2202209	BLUECBS	Blue Cross/Blue Shield of AZ	02/28/2022	
	Feb 22	health insurance Feb 22	health insurance Feb 22	801.14
	Feb 22	health insurance Feb 22	health insurance Feb 22	1,669.62
	Feb 22	health insurance Feb 22	health insurance Feb 22	152.20
	Feb 22	health insurance Feb 22	health insurance Feb 22	2,177.81
	Feb 22	health insurance Feb 22 ee dep	health insurance Feb 22	2,557.20
	Feb 22	health insurance Feb 22	health insurance Feb 22	2,113.32
	Feb 22	health insurance Feb 22	health insurance Feb 22	148.74
	Feb 22	health insurance Feb 22	health insurance Feb 22	2,527.61
	Feb 22	health insurance Feb 22	health insurance Feb 22	750.38
	Feb 22	health insurance Feb 22 ee portion	health insurance Feb 22	388.90
	Feb 22	health insurance Feb 22	health insurance Feb 22	5,851.18
	Feb 22	health insurance Feb 22	health insurance Feb 22	916.82
	Feb 22	health insurance Feb 22	health insurance Feb 22	696.45
	Feb 22	health insurance Feb 22	health insurance Feb 22	202.93
	Feb 22	health insurance Feb 22	health insurance Feb 22	1,315.16
	Feb 22	health insurance Feb 22	health insurance Feb 22	395.25
	Feb 22	health insurance Feb 22	health insurance Feb 22	507.34



Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Check Amount
	28842 Jan 22	utility: water Jan 22 % sr center	utility: water Jan 22 % sr cent	31.71
	28842 Jan 22	utility: water Jan 22 % sr center	utility: water Jan 22 % sr cent	39.67
	28842 Jan 22	utility: water Jan 22 % sr center	utility: water Jan 22 % sr cent	7.93
	30103 Jan 22	utility: water Jan 22 comm refuse Library	utility: water Jan 22 comm ref	28.68
	30103 Jan 22	utility: water Jan 22 comm refuse CAP	utility: water Jan 22 comm ref	28.68
	30103 Jan 22	utility: water Jan 22 comm refuse TH	utility: water Jan 22 comm ref	28.68
	30103 Jan 22	utility: water Jan 22 TH irrigation	utility: water Jan 22 comm ref	53.37
	30103 Jan 22	utility: water Jan 22 comm refuse Headstart	utility: water Jan 22 comm ref	86.03
	40103 Jan 22	utility: water Jan 22 Library	utility: water Jan 22 TH	58.74
	40103 Jan 22	utility: water Jan 22 CAP	utility: water Jan 22 TH	19.58
	40103 Jan 22	utility: water Jan 22 TH	utility: water Jan 22 TH	117.49
	43524 Jan 22	utility: water hydrant meter Jan 22	utility: water hydrant meter Jar	183.65
	53814 Dec 21	utility: water Dec 21 ret basin @ vaou nawi	utility: water Dec 21 ret basin	561.44
	61814 Dec 21	utility: water Dec 21 ret basin @ stott park	utility: water Dec 21 ret basin	862.40
	6891752458Jan22	utility; water Jan 22 botanical garden	utility; water Jan 22 botanical	184.10
	70212 Jan 22	utility: water Jan 22 biehn park sprinklers 1	utility: water Jan 22 biehn par	125.10
	70255 Jan 22	utility: water Jan 22 stott park restrooms	utility: water Jan 22 stott park	56.11
	73212 Jan 22	utility: water Jan 22 Fire dept	utility: water Jan 22 Fire dept	208.30
	79822 Jan 22	utility: water Jan 22 cemetery	utility: water Jan 22 cemetery	111.88
	80212 Jan 22	utility: water Jan 22 biehn park sprinklers 2	utility: water Jan 22 biehn par	159.65
	80814 Dec 21	utility: water Dec 21 ret basin @ guadalupe	utility: water Dec 21 ret basin	1,075.06
	83403 Jan 22	utility: water Jan 22 stott park landscape	utility: water Jan 22 stott park	252.11
	88103 Jan 22	utility: water Jan 22 basin @ pitaya	utility: water Jan 22 basin @ f	40.18
	98252 Jan 22	utility: water Jan 22 mercado	utility: water Jan 22 mercado	414.93
	98252 Jan 22	utility: water Jan 22 mercado comm refuse	utility: water Jan 22 mercado	482.15
			Total for Check Number 2202213:	5,423.20
2202214	COX	Cox Communications, Inc	02/28/2022	
	Feb 22	tv service Feb 22	tv service Feb 22	30.98
	Feb 22 Fire	internet and tv service Feb 22 Fire	internet and tv service Feb 22	378.59
	Feb 22 TH	internet service Feb 22 TH	internet service Feb 22 TH	325.00
			Total for Check Number 2202214:	734.57
2202215	EQUITABL	Equitable Financial Life Insurance Compan	02/28/2022	
	1272081	life insurance Feb 22	life insurance Feb 22	0.78
	1272081	life insurance Feb 22	life insurance Feb 22	7.26
	1272081	life insurance Feb 22	life insurance Feb 22	10.44
	1272081	life insurance Feb 22	life insurance Feb 22	0.68
	1272081	life insurance Feb 22	life insurance Feb 22	10.98
	1272081	life insurance Feb 22	life insurance Feb 22	5.96
	1272081	life insurance Feb 22	life insurance Feb 22	51.73
	1272081	life insurance Feb 22	life insurance Feb 22	12.38
	1272081	life insurance Feb 22	life insurance Feb 22	3.66
	1272081	life insurance Feb 22	life insurance Feb 22	2.62
	1272081	life insurance Feb 22	life insurance Feb 22	0.78
	1272081	life insurance Feb 22	life insurance Feb 22	2.55
	1272081	life insurance Feb 22	life insurance Feb 22	4.39
	1272081	life insurance Feb 22	life insurance Feb 22	0.52
	1272081	life insurance Feb 22	life insurance Feb 22	6.85
	1272081	life insurance Feb 22	life insurance Feb 22	1.04
	1272081	life insurance Feb 22	life insurance Feb 22	5.44
			Total for Check Number 2202215:	128.06
2202216	GENUINE	Genuine Parts Co	02/28/2022	
	4851-139309	joe: battery and light bulbs	joe: battery and light bulbs	175.18
	4851-140248	b241: batteries	b241: batteries	188.09

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Check Amount
			Total for Check Number 2202216:	363.27
2202217	MARTELEC 1004	Martinez, Xavier SCBA: labor and parts to install 240 VAC 50A fi	02/28/2022 SCBA: labor and parts to inst	3,558.04
			Total for Check Number 2202217:	3,558.04
2202218	METLIFE	Metropolitan Life Ins Co	02/28/2022	
	Feb 22	dental insurance Feb 22	dental insurance Feb 22	4.65
	Feb 22	dental insurance Feb 22	dental insurance Feb 22	23.64
	Feb 22	dental insurance Feb 22	dental insurance Feb 22	4.65
	Feb 22	dental insurance Feb 22	dental insurance Feb 22	31.57
	Feb 22	dental insurance Feb 22	dental insurance Feb 22	25.19
	Feb 22	dental insurance Feb 22	dental insurance Feb 22	12.80
	Feb 22	dental insurance Feb 22	dental insurance Feb 22	15.50
	Feb 22	dental insurance Feb 22	dental insurance Feb 22	23.87
	Feb 22	dental insurance Feb 22	dental insurance Feb 22	43.24
	Feb 22	dental insurance Feb 22	dental insurance Feb 22	83.66
	Feb 22	dental insurance Feb 22 COBRA	dental insurance Feb 22	30.99
	Feb 22	dental insurance Feb 22	dental insurance Feb 22	32.08
	Feb 22	dental insurance Feb 22	dental insurance Feb 22	6.20
	Feb 22	dental insurance Feb 22	dental insurance Feb 22	90.34
	Feb 22	dental insurance Feb 22	dental insurance Feb 22	34.09
	Feb 22	dental insurance Feb 22 ee dep	dental insurance Feb 22	409.32
	Feb 22	dental insurance Feb 22	dental insurance Feb 22	166.85
	Feb 22	dental insurance Feb 22	dental insurance Feb 22	38.05
	Feb 22	dental insurance Feb 22	dental insurance Feb 22	46.26
			Total for Check Number 2202218:	1,122.95
2202219	MYTEK	Mytek Network Solutions	02/28/2022	
	69186	balance of payment for laptops (2)	balance of payment for laptop	2,711.84
	69201	it services Feb 22: COVID19 access to microsofi	it services Feb 22	141.47
	69201	it services Feb 22: axcient backup	it services Feb 22	63.15
	69201	it services Feb 22: securence email filtering	it services Feb 22	126.30
	69201	it services Feb 22: access to microsoft office 365	it services Feb 22	610.30
	69201	it services Feb 22: hosted server	it services Feb 22	1,543.94
	69201	it services Feb 22: Ultimate butler	it services Feb 22	3,315.48
	69244	netgate cy 2022 software renewal	netgate cy 2022 software rene	1,065.33
	69256	laptop downpayment	laptop downpayment	2,037.31
			Total for Check Number 2202219:	11,615.12
2202220	NATWIDE	Nationwide Retirement Solution	02/28/2022	
	02112022	PR Batch 00811.02.2022 Nationwide (PEBSCO)	PR Batch 00811.02.2022 Nati	900.00
	02252022	PR Batch 00825.02.2022 Nationwide (PEBSCO)	PR Batch 00825.02.2022 Nati	900.00
			Total for Check Number 2202220:	1,800.00
2202221	NW-ASRS	Nationwide Retirement Solutions	02/28/2022	
	02112022	PR Batch 00811.02.2022 Nationwide ASRS	PR Batch 00811.02.2022 Nati	302.02
	02252022	PR Batch 00825.02.2022 Nationwide ASRS	PR Batch 00825.02.2022 Nati	302.02
			Total for Check Number 2202221:	604.04
2202222	PRTAXF	PAYROLL TAXES-FEDERAL	02/28/2022	
	02112022	PR Batch 00811.02.2022 Medicare Employee Pc	PR Batch 00811.02.2022 Med	982.19
	02112022	PR Batch 00811.02.2022 FICA Employer Portio	PR Batch 00811.02.2022 FIC.	4,199.66
	02112022	PR Batch 00811.02.2022 Medicare Employer Po	PR Batch 00811.02.2022 Med	982.19
	02112022	PR Batch 00811.02.2022 FICA Employee Portio	PR Batch 00811.02.2022 FIC.	4,199.66

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Check Amount
	02112022	PR Batch 00811.02.2022 Federal Income Tax	PR Batch 00811.02.2022 Fede	4,596.48
	02252022	PR Batch 00825.02.2022 Medicare Employer Po	PR Batch 00825.02.2022 Med	1,045.76
	02252022	PR Batch 00825.02.2022 FICA Employee Portio	PR Batch 00825.02.2022 FIC.	4,471.43
	02252022	PR Batch 00825.02.2022 FICA Employer Portio	PR Batch 00825.02.2022 FIC.	4,471.43
	02252022	PR Batch 00825.02.2022 Federal Income Tax	PR Batch 00825.02.2022 Fede	4,417.67
	02252022	PR Batch 00825.02.2022 Medicare Employee Pc	PR Batch 00825.02.2022 Med	1,045.76
			Total for Check Number 2202222:	30,412.23
2202223	PRTAXS	PAYROLL TAXES-STATE	02/28/2022	
	02112022	PR Batch 00811.02.2022 State Income Tax	PR Batch 00811.02.2022 Stat	1,888.56
	02252022	PR Batch 00825.02.2022 State Income Tax	PR Batch 00825.02.2022 Stat	1,944.35
			Total for Check Number 2202223:	3,832.91
2202224	PSPRS	Public Safety Personnel Retire	02/28/2022	
	01282022	PR Batch 00828.01.2022 Retirement-PSPRS	PR Batch 00828.01.2022 Reti	1,583.96
	01282022	PR Batch 00828.01.2022 Retirement-PSPRS-Err	PR Batch 00828.01.2022 Reti	6,068.78
	01282022	LESS FIRE INSURANCE PREMIUM TAX CR	PR Batch 00828.01.2022 Reti	-208.70
	02112022	PR Batch 00811.02.2022 Retirement-PSPRS-Err	PR Batch 00811.02.2022 Reti	5,908.76
	02112022	LESS FIRE INSURANCE PREMIUM TAX CR	PR Batch 00811.02.2022 Reti	-208.70
	02112022	PR Batch 00811.02.2022 Retirement-PSPRS	PR Batch 00811.02.2022 Reti	1,517.14
			Total for Check Number 2202224:	14,661.24
2202225	SRP1277	Salt River Project	02/28/2022	
	Jan 22	utility: electricity Jan 22 CAP	utility: electricity Jan 22	66.78
	Jan 22	utility: electricity Jan 22 security lights @ fire	utility: electricity Jan 22	17.65
	Jan 22	utility: electricity Jan 22 biehn park lights	utility: electricity Jan 22	753.77
	Jan 22	utility: electricity Jan 22 stott park	utility: electricity Jan 22	656.16
	Jan 22	utility: electricity Jan 22 mercado	utility: electricity Jan 22	2,444.18
	Jan 22	utility: electricity Jan 22 ret basin @ pitaya	utility: electricity Jan 22	31.17
	Jan 22	utility: electricity Jan 22 marquee	utility: electricity Jan 22	73.52
	Jan 22	utility: electricity Jan 22 % sr center	utility: electricity Jan 22	231.96
	Jan 22	utility: electricity Jan 22 TH	utility: electricity Jan 22	779.05
	Jan 22	utility: electricity Jan 22 ret basin @ vaou nawi	utility: electricity Jan 22	32.43
	Jan 22	utility: electricity Jan 22 biehn park restrooms	utility: electricity Jan 22	31.80
	Jan 22	utility: electricity Jan 22 % sr center	utility: electricity Jan 22	289.94
	Jan 22	utility: electricity Jan 22 fire dept	utility: electricity Jan 22	315.54
	Jan 22	utility: electricity Jan 22 % sr center	utility: electricity Jan 22	57.99
	Jan 22	utility: electricity Jan 22 sewer metering station	utility: electricity Jan 22	33.74
	Jan 22	utility: electricity Jan 22 ret basin @ guadalupe	utility: electricity Jan 22	32.43
	Jan 22	utility: electricity Jan 22 straw bale house: maint	utility: electricity Jan 22	34.86
	Jan 22	utility: electricity Jan 22 stott park restrooms	utility: electricity Jan 22	41.31
	Jan 22	utility: electricity Jan 22 security lights @ merca	utility: electricity Jan 22	214.26
	Jan 22	utility: electricity Jan 22 maint yd	utility: electricity Jan 22	128.84
	Jan 22	utility: electricity Jan 22 HS	utility: electricity Jan 22	495.97
	Jan 22	utility: electricity Jan 22 sprinklers @ street	utility: electricity Jan 22	31.80
	Jan 22	utility: electricity Jan 22 Library	utility: electricity Jan 22	267.11
	Jan 22	utility: electricity Jan 22 biehn park security ligh	utility: electricity Jan 22	257.46
	Jan 22	utility: electricity Jan 22 cemetery	utility: electricity Jan 22	31.70
	Jan 22	utility: electricity Jan 22 street lights	utility: electricity Jan 22	326.80
			Total for Check Number 2202225:	7,678.22
2202226	SRP1278	Salt River Project	02/28/2022	
	Jan 22	street lights and traffic signals Jan 22	street lights and traffic signals	2,438.56
			Total for Check Number 2202226:	2,438.56
2202227	SITTON	Sitton Security LLC	02/28/2022	

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Check Amount
	2967	Headstart: service call to drill and replace lock at	Headstart: service call to drill	213.50
Total for Check Number 2202227:				213.50
2202228	SWGAS	Southwest Gas Corp	02/28/2022	
	Dec 21	utility: natural gas Dec 21 % sr center	utility: natural gas Dec 21 % s	54.46
	Dec 21	utility: natural gas Dec 21 % sr center	utility: natural gas Dec 21 % s	68.07
	Dec 21	utility: natural gas Dec 21 % sr center	utility: natural gas Dec 21 % s	13.61
Total for Check Number 2202228:				136.14
2202229	VERIZON	Verizon Wireless	02/28/2022	
	9896593137	cell phone & data usage Dec 21 COVID Ipad 2	cell phone & data usage Dec 2	38.01
	9896593137	cell phone & data usage Dec 21 Fire Ipad 2	cell phone & data usage Dec 2	38.01
	9896593137	cell phone & data usage Dec 21 Fire heart monit	cell phone & data usage Dec 2	40.03
	9896593137	cell phone & data usage Dec 21 Fire Ipad 1	cell phone & data usage Dec 2	38.01
	9896593137	cell phone & data usage Dec 21 Maint TOG	cell phone & data usage Dec 2	40.85
	9896593137	cell phone & data usage Dec 21 Comm Dev	cell phone & data usage Dec 2	40.85
	9896593137	cell phone & data usage Dec 21 Maint Days	cell phone & data usage Dec 2	30.75
	9896593137	cell phone & data usage Dec 21 COVID Iphone :	cell phone & data usage Dec 2	40.85
	9896593137	cell phone & data usage Dec 21 Maint Ipad	cell phone & data usage Dec 2	38.01
	9896593137	cell phone & data usage Dec 21 Maint On Call	cell phone & data usage Dec 2	40.85
	9896593137	cell phone & data usage Dec 21 COVID Ipad 1	cell phone & data usage Dec 2	38.01
	9896593137	cell phone & data usage Dec 21 CAP jetpack	cell phone & data usage Dec 2	40.01
	9896593137	cell phone & data usage Dec 21 COVID Iphone	cell phone & data usage Dec 2	40.85
	9896593137	cell phone & data usage Dec 21 Fire	cell phone & data usage Dec 2	40.85
Total for Check Number 2202229:				545.94
2202230	WEX	WEX Bank	02/28/2022	
	7851916	gas expenses Jan 22 sr center @ 25%	gas expenses Jan 22	21.13
	7851916	gas expenses Jan 22 sr center @ 75%	gas expenses Jan 22	63.41
	7851916	gas expenses Jan 22 Maint	gas expenses Jan 22	910.86
	7851916	gas expenses Jan 22 rebate	gas expenses Jan 22	-5.74
	7851916	gas expenses Jan 22 Fire	gas expenses Jan 22	1,793.11
Total for Check Number 2202230:				2,782.77
Total for 2/28/2022:				168,767.12
Report Total (107 checks):				541,298.55